 <b>Reigate &amp; Banstead</b> BOROUGH COUNCIL Banstead   Horley   Redhill   Reigate	<b>TO:</b>	PLANNING COMMITTEE
	<b>DATE:</b>	5 <sup>th</sup> July 2017
	<b>REPORT OF:</b>	HEAD OF PLACES & PLANNING
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<b>AGENDA ITEM:</b>	5	<b>WARD:</b> Preston

<b>APPLICATION NUMBER:</b>	16/02949/F	<b>VALID:</b>	19/12/2016
<b>APPLICANT:</b>	London Square Developments Ltd	<b>AGENT:</b>	Bilfinger GVA
<b>LOCATION:</b>	<b>SITE OF FORMER DE BURGH SCHOOL, CHETWODE ROAD TADWORTH, SURREY</b>		
<b>DESCRIPTION:</b>	<b>The construction of 229 dwellings together with associated car and cycle parking, refuse and recycling storage and soft and hard landscaping provision. As amended on 26/04/2017, on 05/05/2017 and on 09/05/2017.</b>		
<b>All plans in this report have been reproduced, are not to scale, and are for illustrative purposes only. The original plans should be viewed/referenced for detail.</b>			

**This application is referred to Committee in accordance with the Constitution as the application is for 229 dwellings**

## SUMMARY

This is a full planning application seeking permission for the erection of 229 dwellings, of which 25% (57 units) are proposed as affordable on part of the former de Burgh School playing fields. Part of the wider De Burgh site (1.8 hectares) was developed for housing in 2001. This application relates to the remaining 6.08 hectares.

Outline consent (13/02282/OUT) with all matters reserved was granted in September 2016 for the erection of 180 dwellings on the site (land in County ownership) and a further 6 units were granted under 15/00528/OUT in 2016 on land in the Borough ownership adjacent to Marbles Pond. This application combines both the above sites and seeks an additional 43 units.

The site has long been identified for housing development and is safeguarded for such in the Borough Local Plan under Policy Ho8. The proposal is also a fundamental part of the Council's wider objective to regenerate the Preston estate and forms a key part of the Preston Planning Framework, published in 2012, informed by extensive public consultation and the draft Preston Regeneration SPD (2002).

The other key developments forming part of the Preston Planning Framework are underway or have been completed with the new leisure and community centre opened in October 2015, and the 130 new homes that formed part of the enabling development for this under construction with the first homes completed in April / May 2016.

As set out in the Preston Planning Framework, development of this site for new housing will also be used to cross-subsidise the new youth, leisure and community facilities being constructed at Merland Rise, much of which have been forward-funded. The scheme is therefore important in enabling the development of these welcomed facilities as well as providing a range of other benefits as part of an extensive S106 and CIL package. Furthermore, as set out in the Preston Planning Framework, the development of this site (together with Merland Rise) will help create a more balanced mix of housing tenures and types to create a sustainable community and housing options for local people.

As an identified housing site, within the Local Plan, the development of the site for new homes is important in helping the Council achieve its 5 year housing supply. Given its policy allocation and planning history, the principle of housing development on this site is well established and acceptable.

It is important to clarify that the proposal for consideration has been submitted as a full planning application as opposed to seeking discharge of reserved matters pursuant to the outline. As such whilst the permitted outline is a material consideration in the determination of this application, and informs much of the design rationale behind this proposal, this application does not need to comply with the parameters of the outline. Instead it must be considered on its own merit.

Notwithstanding this the scheme retains many of the design principles from the outline, including the central road layout and access points onto Chetwode Road and De Burgh Gardens, the siting of apartment blocks on key perimeter corners, the green spine running east-west between Marbles Pond and Burgh Heath, the central green square, the 'green court' to the south and hedgerow buffer to Burgh Heath. The storey heights remain as per the outline (2 and 2 ½ storey houses and 3 storey flats) and the principle of maximising curtilage parking has been retained with parking increased, such that it exceeds the parking standard. In addition the proposal introduces an additional public open space, in the form of a green square south of the green spine acting as a destination to the avenue running north-south.

The internal road and building layout within the development parcels has altered to deliver a more efficient layout, with the removal of some mews roads and the introduction of different house types. This together with an increase in the number of flats has delivered the uplift in unit numbers with the density increased from 30.6 to 37.7 dwellings per hectare. Whilst increased the proposed density remains acceptable. A comparison between the proposal and the approved scheme is set out at appendix 1 together with further detail of how the additional units have been achieved within section 6.



As set out in section 2.2 improvements to the design and layout of the scheme have been secured during the course of the application to improve the designs, introduce more traditional features that reflect the local vernacular whilst retaining elements of originality that underpins the architectural rationale. Street widths and front gardens have been increased with increased tree planting, an increase in children's play provision, and amendments to the housing mix to reduce the number of 4 bed affordable housing units and provide a policy compliant 60% (34 units) shared ownership and 40% (23 units) affordable rent housing mix.

Car parking is provided predominantly within curtilages and parking courtyards in order to minimise problems of informal parking on kerb, learning from recent developments such as Watercolour and Horley North East Sector. The flat blocks have rear courtyard parking areas and visitor parking is provided throughout the development in on-street recessed parking bays. In response to issues that have arisen at other recent developments, a higher than normal level of parking is provided.

The revised scheme and improvements achieved deliver 468 car parking spaces, an additional 104 parking spaces compared to the outline (an average of 2.04 spaces per home in comparison to 1.95 spaces per home). The application includes a number of parking courtyards which have been the subject of considerable assessment, see additional Car Parking Note submitted by the applicant. The principle of parking courtyards is acceptable with the Reigate & Banstead Local Distinctiveness Guide stating: "*The preferred location for car parking in medium to high density schemes are in secure rear courtyards where they are overlooked. Alternatively in an allocated parking space within the private curtilage, or a combination of the two.*" Where possible parking courts have been reduced in size and improved by the introduction of landscape measures. The applicant has submitted information on how the parking courts would operate with, allocated parking and direct access for residents from the parking courts via a gate into the rear of their property. It should be noted that not all parking courts are proposed to be gated, see paragraph 6.48. A full review of parking has been undertaken to maximise on-plot curtilage spaces, the number of lay-by spaces and illustrate how the scheme through design and mitigation features minimises the likelihood of on-street car parking. The use of a combination of on-plot parking, parking courtyards and lay-bys to provide parking is considered acceptable, and ensures the development is not dominated by parked cars. Any further reduction in the size of the parking courtyards would result in a reduction in overall levels of parking on the scheme.

The applicant has confirmed that not all parking courts are proposed to be gated. The parking courts located in front of plots C5 to C8 and F8 and F9, within area D, parking to the rear of plots C9 to C21 and adjacent to Plot G24 are not proposed to be gated. The desire for secure parking needs to be considered against the visual impact of gates in the streetscene and the operational use of the car park. On balance it is considered that the proposal as designed is acceptable but if members are minded to take a different view condition 11 could be extended to secure the use of gates on more or all parking courts.

The application has been assessed by the County Highway Authority in terms of the likely net additional traffic generation, access arrangements and parking provision and are satisfied that the application would not have a material impact on the safety and operation of the adjoining public highway subject to conditions and the legal agreement being secured.

The scheme amendments have improved the scheme such that the application is now considered acceptable. Conditions are proposed to secure additional benefits and improvements.

The proposal overall is considered to provide a well-designed urban extension that follows current standards and policy in terms of its layout and design and accords with the regeneration objectives set out within the Development Plan.

In addition to the proposed S106 requirements below a CIL payment would be required (see para 6.77 in the main report), this would include contributions towards education, leisure, community facilities and other highways and public realm improvements.

## **RECOMMENDATION(S)**

Subject to the completion of all documentation required to create a planning obligation under Section 106 of the Town and Country Planning Act 1990 (as amended to secure:

Highway contribution comprising:

- (i) Chetwode Road - removal of central traffic island - £25,924
- (ii) Chetwode Road - road widening / verge hardening / lay-by - £163,844
- (iii) Junction improvements at Great Tattenhams / A240 - £89,612

Other:

- (iv) One Way Road working TROs - £9,717  
Long Walk one way  
Broad Walk one way
- (v) The provision of (25%) 57 affordable dwellings to the mix agreed
- (vi) Burgh Heath Path improvements: Design, surveys & works – £70,500
- (vii) Burgh Heath Management Plan and Mitigation - £50,000
- (viii) Marbles Pond Improvements - £5,398
- (ix) Travel Plan Monitoring Fee - £6,150
- (x) 4 bed affordable rent homes to be marketed for 3 months at a discounted 4 bed rate. If not occupied by the end of the 3 month period, then marketed at discounted 3 bed rate
- (xi) Housing nominations protocol

- (xii) Management and maintenance arrangements for play areas, areas of open space, public amenity areas, parking courts and land not adopted by SCC / outside the curtilage of dwellings
- (xiii) The Council's legal costs in preparing the legal agreement

Planning permission is **GRANTED** subject to conditions.

In the event that a satisfactorily completed obligation is not received by 5<sup>th</sup> October 2017 or such longer period as may be agreed, the Head of Places and Planning be authorised to refuse permission for the following reason

1. The proposal fails to provide an agreed contribution to fund required infrastructure and affordable housing provision within the Borough of Reigate & Banstead, and is therefore contrary to policy CS15 and CS12 of the Reigate and Banstead Core Strategy 2014.

**Consultations:**

Highway Authority:

The County Highway Authority has undertaken an assessment in terms of the likely net additional traffic generation, access arrangements and parking provision and on safety and policy grounds and is satisfied that the application would not have a material impact on the safety and operation of the public highway. The County Highway Authority therefore has no highway requirements subject to conditions and the completion of the S106.

SCC Archaeology: No objection but due to size of the site recommend a condition requiring further assessment of the archaeological potential of the site and a programme of archaeological fieldwork.

Natural England: No objection

Sport England: No comments as the site is not considered to form part of, or constitute a playing field, as the land has not been used as a playing field since 1990.

RBBC Contaminated Land: No objection subject to a standard contaminated land informative.

RBBC Housing: Concern regarding housing mix, lack of inclusion of 2 bed houses, overrepresentation of affordable four bedroom houses, tenure split not in accordance with Affordable Housing SPD. (Many comments addressed in amendments received and affordable housing provision now policy compliant.)

Surrey Police: Offered advice to applicant. Advised condition that development should achieve Secure by Design award.

Surrey Short Breaks Team: Objection on grounds of overlooking /loss of privacy, adequacy of parking, noise, smells and disturbance in relation to Appelwood a SCC provision offering overnight short breaks for approx. 40 disabled children.

Surrey Wildlife Trust: No objection subject to conditions and S106 obligation to secure appropriate developer contributions towards the management of Burgh Heath to avoid, mitigate and compensate for expected increased residential visitor pressure. Provision of developer contribution should be accompanied by an appropriately detailed and costed Burgh Heath management plan. Conditions to secure ecological mitigation for protected species including newts, bats, badgers, reptiles, dormice and breeding birds, a sensitive lighting management plan, and onsite landscape and ecological management plan. (S106 includes £50,000 for Burgh Heath management plan and mitigation).

Surrey County Council Sustainable Drainage: No objection subject to condition

Surrey County Council Infrastructure: No objection

Thames Water: No objection. Response includes information for applicant.

Tadworth & Walton Residents Association: Objection for reasons of design including introduction of parking courts, architectural design of buildings, boundary treatments, dwelling mix, increased density, loss of open space, lack of front gardens and space for trees, impact to Burgh Heath, transition to green belt, insufficient parking provision, increase in traffic and congestion, burden on community infrastructure.

UK Power Networks – No objection

### Representations:

Letters were sent to neighbouring properties on 21 December 2016, a site notice was posted on 30<sup>th</sup> December 2016 and advertised in local press on 29<sup>th</sup> December 2016. Neighbours were re-notified on the revised plans for a 14 day period commencing 2<sup>nd</sup> May 2017, and a further site notice was posted on 4<sup>th</sup> May 2017.

As of 15<sup>th</sup> June 2017 34 responses have been received raising the following issues:

Objection Description	Count	Response
Overlooking and loss of privacy	10	See paragraphs 6.27 – 6.36 and condition 31
Overshadowing	6	See paragraphs 6.27 – 6.36
Overbearing relationship	1	See paragraphs 6.27 – 6.36
Noise & disturbance	13	See paragraphs 6.35 – 6.36 and conditions 13 & 30
Crime / health fears	15	See paragraph 6.37
Flooding, drainage/sewage capacity	14	See paragraphs 6.67-6.70 and conditions 21 & 22
Impact to community services, schools, GPs etc	17	To be mitigated through proposed CIL funds
Inconvenience during construction	15	See paragraph 6.36 and condition 13
Increase in traffic and congestion	25	See paragraphs 6.39-6.58 and conditions 11, 13-19
Inadequate parking	14	See paragraphs 6.39-6.58 and conditions 11, 13-19
Hazard to highway safety	16	See paragraphs 6.39-6.58 and conditions 11, 13-19
Overdevelopment	20	See paragraphs 6.3-6.19
Out of character with surrounding area	2	See paragraphs 6.3-6.19
Poor design	3	See paragraphs 6.3-6.19
Loss of/harm to trees	14	See paragraphs 6.20-6.26 and conditions 6 & 7
Harm to Green Belt/countryside	12	The site is not located within the green belt or open countryside
Harm to wildlife habitat	19	See paragraphs 6.71-6.76 and condition 9
Harm to Conservation Area	9	The site is not located within a conservation area

<b>Objection Description</b>	<b>Count</b>	<b>Response</b>
Harm to listed building	2	No statutory or locally listed buildings on or adjacent to the site
Property devaluation	8	This is not a material planning consideration
No need for the development	10	Each application must be assessed on its own merits
Loss of private view	9	This is not a material planning consideration
Alternative location/ proposal preferred	5	Each application must be assessed on its own merits

## **1.0 Site and Character Appraisal**

- 1.1 The site comprises an area of 6.08 hectares and forms part of a 7.93 hectare site allocated for housing development under Policy Ho8 of the Borough Local Plan 2005. The remaining area of land having already been developed for housing in 2001. The site comprises the former playing fields of the De Burgh Secondary School, which closed in 1990. The site is relatively flat and comprises grassland with various tree, hedge and fence boundaries and informal footpaths across it linking it to both the wider Preston estate and also to Burgh Heath. The site sits adjacent to Marbles Pond.
- 1.2 The site is sustainably located adjacent to the wider Preston Estate which mainly comprises terraced housing and flats from the mid-twentieth century. Chetwode Road runs parallel with the site forming the northern boundary with terraced housing and blocks of flats on the opposite side of the road. Immediately adjacent to the site to the south is the more recent development of De Burgh gardens which comprises the remaining part of the De Burgh Site, developed in 2001 and comprising detached housing.
- 1.3 Neighbouring properties are predominately two storey detached, semi-detached and terraced housing with some 3 and 4 storey blocks of flats on Chetwode Road and Hatch Gardens. The rear gardens of the properties in Marbles Way, De Burgh Gardens and Hatch Gardens back onto the west and south boundaries of the site respectively.
- 1.4 In the top north-east corner of the site is an electricity sub-station and land has been safeguarded for a future extension to this. To the east the site abuts Burgh Heath a designated Site of Nature Conservation Interest (SNCI). The site wraps around a small site in the north-west corner which comprises a single storey building housing Applewood, a children's respite care facility run by Surrey County Council.

## **2.0 Added Value**

- 2.1 Improvements secured at the pre-application stage: The applicant entered into pre-application discussions with the applicant. Advice was provided regarding a reduction in number of dormer windows, three storey houses reduced to two and a half (third storey accommodation incorporated into

roofs), introduction of layby parking on Chetwode Road, improvements to the design to better reflect local vernacular, including introduction of bays, porch canopies, chimneys, clay tile hanging, fenestration improvements and amendments to roof forms.

## 2.2 Improvements secured during the course of the application:

### Design:

- Main estate roads (Avenues) widened to 5.5m with a 2m wide pavement on either side and Lanes widened to a minimum of 4.8 wide shared surface. Road widths in excess of guidelines within the Council's Local Distinctiveness Guide
- Depth of front gardens increased, now typically 3 – 5m
- Flats reoriented to address open space and street and sited on key perimeter corners to provide landmark buildings
- Plots re-orientated to front square to south
- House types amended to improve designs to better reflect the wider Surrey vernacular whilst retaining elements of originality that underpins the architects rationale
- Layout adjacent to Marbles Pond revised to reflect original approval and Green Spine widened in this location
- Amendments to siting, scale and design of houses to improve building lines and residential amenity relationships
- Revisions to dormer design to comply with Council guidance

### Landscape:

- Increased tree planting secured to enhance character and help deter on street parking
- Street hedges confirmed min 1m and improved landscape planting to street
- Proposal now provides a greater amount of open space compared to outline from 4497.2 sqm to 4985sqm
- Play space change – From 3 x LAPs to 2 x LAP, 1 x LEAP. Improvements secured by condition re play equipment & management & maintenance
- Trees, hedges and grass added to car parking courts
- Introduction of knee rails, secured by condition around the green spine and southern area of amenity space / LAP.

### Parking and highways:

- Parking provision increased by 104 spaces from outline:  
Outline: 332 spaces plus 32 visitor spaces = 364 spaces = 1.95 per home  
Proposed: 399 spaces plus 69 visitor spaces = 468 spaces = 2.04 per home.  
(Minimum parking standard = 418 spaces for proposal)
- One car parking court removed
- Curtilage parking increased
- 13 layby spaces added
- Amendments to design of car parking courts, including clarity with respect to operation and soft landscaping
- Road layout amended to improve visibility in response to tracking information

- Additional Car parking Note submitted by applicant – explains in detail the proposed car parking approach, how the scheme draws from the principles of the outline, how parking courts will operate, the strategy for minimising on-street parking, how the proposals compare with other schemes in RBBC.

Affordable housing:

- Housing mix revised to reduce the number of 4 bed units in favour of smaller units
- Housing split revised to be policy compliant 60% (34 units) Shared ownership, 40% (23 units) Affordable rent

2.3 Further improvements could be secured through the use of conditions and a legal agreement to secure a package of benefits as set out within the recommendation. A CIL contribution would also be required.

### **3.0 Relevant Planning and Enforcement History**

3.1	13/00270/SCREEN	Environmental Impact Assessment screening request regarding outline planning proposal for 180 dwellings on the site of the former De Burgh Playing Field	ES not required 4 March 2013
3.2	13/02282/OUT	Outline consent for the erection of 180 dwellings (inc 25% affordable housing) on the site of the former De Burgh Playing Field, together with associated parking and landscaping	Approved with conditions 23 September 2016
3.3	15/00528/OUT	Provision of 2 three-bedroom houses and 4 four-bedroom houses with associated parking and landscaping	Approved with conditions 31 March 2016
3.4	16/02750/SCREEN	Environmental Impact Assessment screening request regarding full planning proposal for 229 dwellings on the site of the former De Burgh Playing Field	EIA not required November 2016

### **4.0 Proposal and Design Approach**

4.1 This is a full application for the erection of 229 dwellings on part of the former De Burgh school playing field. Of the 229 dwellings 57 (25%) would be affordable, with the housing mix as follows:



22 x 1 bed flats,	7 private, 15 affordable	(5 AR and 10 SO)
37 x bed flats	19 private, 18 affordable	(6 AR and 12 SO)
102 x 3 bed houses	82 private, 20 affordable	(9 AR and 11 SO)
68 x 4 bed houses	64 private, 4 affordable	(2 AR and 2 SO).

- 4.2 The application proposes road accesses from Chetwode Road and De Burgh Gardens, with roads linking through between these to provide a permeable layout. The scheme provides 3no. three storey apartment buildings within the centre of the site, located on key perimeter corners and to address the green square. A further six small two and a half storey apartment buildings are incorporated which combine with houses to make short terraces. The remainder of the development comprises two storey three and four bedroom detached and semi-detached properties, with the occasional 2 1/2 storey element to incorporate accommodation within the roof. These would be buffered by landscaping along the boundary with Burgh Heath with other landscaping provided within the site, including a central east-west green spine, two green squares and a smaller green 'court' to the south.
- 4.3 In accordance with parking standards the scheme provides 1 space per 1 bed flat, 1.5 spaces per 2 bed flat with 2 spaces provided for the 3 and 4-bed dwellings. The scheme provides a total of 468 parking spaces, 50 spaces over and above the maximum parking standard of 418.
- 4.4 A design and access statement was submitted with the application and helps illustrate the process that has led to the development proposal, and justifies the proposal in a structured way, by demonstrating the steps taken to appraise the context of the proposed development. It expects applicants to follow a four-stage design process comprising:  
Assessment;  
Involvement;  
Evaluation; and  
Design.
- 4.5 Evidence of the applicant's design approach is set out below:

Assessment	The character of the surrounding area is assessed as including mid-twentieth century residential dwellings, including flats and houses as well as the more recent 2001 residential houses.
	Some trees worthy of retention were identified.
Involvement	Community views were sought during a 2 day public exhibition, meetings held to seek the views of local Councillors, together with pre-application discussions with officers
Evaluation	Other than the consented outline, the other development options considered were different layouts with increased density, predominance of terraces and less traditional architectural designs.

Design	The applicant's reasons for choosing the proposal from the available options were that it provides a more efficient layout without detriment to the scheme, with the architecture positively reinforces the wider character rather than replicating the Preston Estate.
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4.5 Further details of the development are as follows:

Site area	6.08 ha
Existing use	Open spaces (sui generis)
Proposed use	229 dwellings Residential (C3 use) (Previous Outline Consent 186 dwellings)
Proposed parking spaces	468 (399 plus 69 visitor spaces) (average 2.04 per home)
Parking standard	418 (maximum)
Number of affordable units	57 (25% policy compliant)
Proposed site density	37.7 dwellings per hectare (Previous Outline scheme 30.6 dph)
Density of the surrounding area	Merland Rise development – 37 dwellings per hectare De Burgh Gardens – 29 dwellings per hectare

4.6 Comparison of proposed development to Outline consent

Unit Mix	The unit mix has slightly changed when compared to the previous consent, as per the table below.																																										
	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th rowspan="2">Unit type</th> <th colspan="4">Number / % of dwellings</th> </tr> <tr> <th colspan="2">Outline consent</th> <th colspan="2">Proposed scheme</th> </tr> </thead> <tbody> <tr> <td>1 Bedroom Flat</td> <td>10</td> <td>5.3%</td> <td>22</td> <td>9.6%</td> </tr> <tr> <td>2 Bedroom Flat</td> <td>29</td> <td>15.6%</td> <td>37</td> <td>16.2%</td> </tr> <tr> <td>2 Bedroom House</td> <td>22</td> <td>11.8%</td> <td>0</td> <td>0%</td> </tr> <tr> <td>3 Bedroom House</td> <td>76</td> <td>40.9%</td> <td>102</td> <td>44.5 %</td> </tr> <tr> <td>4 Bedroom House</td> <td>49</td> <td>26.4</td> <td>68</td> <td>29.7%</td> </tr> <tr> <td><b>TOTAL</b></td> <td><b>186</b></td> <td><b>100%</b></td> <td><b>229</b></td> <td><b>100%</b></td> </tr> </tbody> </table>				Unit type	Number / % of dwellings				Outline consent		Proposed scheme		1 Bedroom Flat	10	5.3%	22	9.6%	2 Bedroom Flat	29	15.6%	37	16.2%	2 Bedroom House	22	11.8%	0	0%	3 Bedroom House	76	40.9%	102	44.5 %	4 Bedroom House	49	26.4	68	29.7%	<b>TOTAL</b>	<b>186</b>	<b>100%</b>	<b>229</b>	<b>100%</b>
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	The current proposals include no 2 bed houses, only 2 bed flats. The applicant states that these provide better living spaces with more compact circulation areas. The proportion of 3 and 4 bedroom units has also increased, providing more family sized units. In addition the proportion of 1 bed units has increased. This provides more units suitable to first time																																										

	buyers at the lower end of the market, enabling them to get onto the 'housing ladder'.
Unit type	The majority of houses in the proposal remain detached or semi-detached. A few short terraces have been introduced to give variety on the larger Avenues.
Housing size	The current proposals provide larger, better quality homes designed to London Plan and National Technical Standards. For example, three and four bedroom homes on the outline consent are noted as being between 88 & 91 sq.m and 115 & 120 sq.m respectively. Three bedroom homes on the proposed scheme are sized between 100 & 103 sq.m, with four bedroom homes between 117 & 125 sq.m.
Affordable housing	The affordable housing provision is policy compliant. Both the proposed and consented schemes include 25% affordable units. Due to the overall uplift in units, this results in the provision of 57 affordable units – 12 more than the consented scheme (representing an uplift of 27%). The scheme had been amended to reduce the number of 4 bed affordable units. Marketing arrangements have been agreed, to be secured via the S106, for the 2 no 4 bed affordable rent units remaining within the scheme.
Building heights	Building heights follow the outline consent. The proposed 3 storey blocks of flats are in similar locations to the outline, located to the north east section of the site.
Car parking	The current proposals offer greater car parking provision, with an overall ratio of 2.04 spaces per dwelling, compared to a ratio of 1.95 per dwelling with the outline (including visitor spaces. 104 additional spaces are provided compared to the outline. The proposed scheme exceeds the adopted parking standard by 50 spaces.
Access	In line with the consented scheme, vehicular access is proposed in three locations, two from Chetwode Road in the north and one from De Burgh Gardens in the south.
Open space	The proposals provide an additional 488 sqm of open space and increased and improved playspace compared to existing scheme (1 X LEAP and 2 x LAPs as opposed to 3 x LAPs)
SUDs	Following further site investigation and recommendations from specialists the attenuation ponds proposed in the consented scheme have been omitted from the proposed scheme. Due to ground conditions surface water attenuation will instead be dealt with by a system of underground attenuation tanks.
CIL and S106	The applicant proposes largely the same level of S106 contributions, as per the consented scheme, but with additional contributions with respect to Burgh Heath SNCI mitigation and an increase in contributions relating to highway impact. Indexation has been used as appropriate to update costs from those identified on the outline scheme. In terms of CIL, the increase in 43 units will result in higher CIL contributions than the consented scheme.  Since the introduction of CIL some items previously within the original S106 heads of terms now fall within the CIL including education, health and other community provision. Overall the total contributions are higher than the previously permitted scheme due to the increase in number of units, floorspace and additional S106 items.

## 5.0 Policy Context

### 5.1 Designation

Urban area  
Allocated housing site  
Adjacent to Burgh Heath SNIC (Policy 2C)  
Adjacent to the green belt to the east

## 5.2 Reigate and Banstead Core Strategy

CS1 (Sustainable Development)  
CS2 (Valued Landscapes and Natural Environment),  
CS4 (Valued Townscapes and Historic Environment)  
CS6 (Allocation of Land for Development)  
CS8 (Area Policies)  
CS10 (Sustainable Development),  
CS11 (Sustainable Construction),  
CS12 (Infrastructure Delivery),  
CS13 (Housing Delivery)  
CS14 (Housing Needs)  
CS15 (Affordable Housing)  
CS17 (Travel Options and Accessibility)

## 5.3 Reigate & Banstead Borough Local Plan 2005

Landscape & Nature Conservation	Pc2G, Pc3, Pc4
Housing	Ho2, Ho3, Ho8, Ho9, Ho13, Ho16
Utilities	Ut3, Ut4
Movement	Mo5, Mo6, Mo7, Mo8

## 5.4 Other Material Considerations

National Planning Policy Framework	
National Planning Practice Guidance	
Supplementary Planning Guidance	Surrey Design Local Distinctiveness Design Guide A Parking Strategy for Surrey Parking Standards for Development Affordable Housing Outdoor Playing Space Provision Planning Obligations and Infrastructure SPD Draft Preston Regeneration SPD
Other	Human Rights Act 1998 Preston Planning Framework 2012 Community Infrastructure Levy Regulations 2010

## 6.0 **Assessment**

- 6.1 The site is an allocated safeguarded housing site, identified in Policy Ho8 of the Borough Local Plan 2005 and the scheme has been prepared and submitted following publication of the Preston Planning Framework in 2012 which underwent extensive local consultation prior to this to consider how best to regenerate the Preston estate.
- 6.2 The main issues to consider are:
- Principle of residential development
  - Design appraisal
  - Trees and landscape
  - Neighbour amenity
  - Children's play
  - Highway matters
  - Affordable Housing
  - Archaeology
  - Flooding and drainage
  - Wildlife
  - Affordable housing
  - Community Infrastructure Levy

#### Principle of residential development

- 6.3 The application site is situated within the urban area where there is a presumption in favour of sustainable development and where the principle of such residential development is acceptable in land use terms.
- 6.4 Policy Ho8 of the Borough Local Plan safeguards this site for housing, and it is identified for such in the Local Plan. The principle of residential development has therefore been accepted in planning policy terms. Furthermore, the site is included within the Preston Planning Framework where it is identified as necessary to help cross-fund the construction of new community facilities recently built on the former Merland Rise Recreation ground as well as helping to re-balance the mix and tenure of housing across the Preston Estate which has a disproportionately high level of social housing. As a result, the site is included within the Strategic Housing Land Availability Assessment (SHLAA) and is important for the Council in helping it meet its 5-year housing supply.
- 6.5 The site has not been used for playing fields since the former De Burgh School closed in 1990 and for this reason and due to its housing allocation, there can be no objection to the loss of open space or playing fields and no objection has been received from Sport England in this regard.

#### Design appraisal

- 6.6 Layout, scale and comparison with outline: The scheme retains many of the design principles from the outline, including a central spine road with residential lanes off it, areas of shared surfaces, access points onto

Chetwode Road and De Burgh Gardens, and apartment blocks located on key perimeter corners to provide landmark buildings overlooking the open space. The open space strategy accords with the outline but with increased provision and includes the green spine running east-west between Marbles Pond and Burgh Heath, a central green square, a 'green court' to the south and hedgerow buffer to Burgh Heath. It has also been enhanced to include an additional public open space, in the form of a green square, south of the green spine and acting as a destination to the avenue running north-south.

- 6.7 The scale of the development remains as per the outline with a mix of 2 and 2 ½ storey houses and 2 ½ and 3 storey apartment blocks. (Three bedroom houses are typically 2 storey and four bedroom houses 3 storeys.) This is considered appropriate given the mixed scale of properties in the area which range up to four-storey apartment blocks and is below the maximum of four-storeys included within the Preston Planning Framework. The proposed 3 storey blocks of flats are in similar locations to the outline.
- 6.8 The principle of maximising curtilage parking has been retained with parking increased. The design encourages natural surveillance with habitable room windows overlooking public spaces and parking courts. The parking courtyards split up and interspersed with planting to reduce their visual impact.
- 6.9 The internal road and building layout within the development parcels has altered, with the elimination of mews streets and use of different house types with narrower frontages and deeper footprints to deliver a more efficient layout. This together with an increase in the number of flats (due to the removal of 2 bed houses from the scheme) has delivered the uplift in unit numbers. The density has increased from 30.6 to 37.7 dwellings per hectare, which is comparable with the surrounding area. The proposed density accords with Local Plan policy Ho9 and the Preston Planning Framework which states expected densities of 30 to 50 dph.
- 6.10 **Appendix 1** provides a comparison of the proposed scheme against the outline consent, the applicant has also provided detailed analysis within the design and access statement as to how the increased units have been achieved. Despite the increase in dwelling numbers, the number of car parking spaces and areas of public amenity and children's play facilities have increased.
- 6.11 Amendments - The layout and elevation plans provided have been amended from their submission following discussion with Officers to improve the design and layout, as discussed in detail at paragraph 2.2. These amendments introduce more traditional form and features to the designs that reflect the local vernacular whilst retaining elements of originality that underpins the architectural rationale. Street widths and front gardens have been increased with increased tree planting, an increase in children's play provision, and amendments to the housing mix to reduce the number of 4 bed affordable housing units and provide a policy compliant 60% (34 units) shared ownership and 40% (23 units) affordable rent housing mix. Increased parking

has been provided, especially within private curtilages and extra spaces have been provided along access roads in lay-bys. Parking courtyards have been reduced in number, with further detail secured regarding their operation.

- 6.12 Living standards – The proposal provides good quality homes designed to meet and exceed National Technical Space Standards and the more onerous London Plan standards
- one bedroom flats are between 48 and 50 sq.m
  - two bedroom flats are between 66 and 75 sq.m
  - three bedroom houses are between 100 and 103 sq.m across two levels
  - four bedroom houses are between 117 and 125 sq.m across three levels (rooms in the roof)

Each unit type has also been designed in accordance with Approved Document M of the Building Regulations (Access to and use of buildings) which has replaced Lifetime Homes.

- 6.13 The proposed units are of larger size than those proposed by the outline consent. For example, three and four bedroom homes on the outline are noted as being between 88 & 91sq.m and 115 & 120 sq.m respectively. Which is notably smaller than the figures shown above for the proposed scheme.
- 6.14 The Preston Planning Framework notes that many families in the area are without gardens. All houses within the proposed development are provided with private gardens, which are typically 10 metres or more deep. The three large apartment blocks provide private amenity space in the form of either a private balcony or patio. Front gardens have been increased to typically 3 to 5 metres deep which is in excess of Council guidance set out in their Local Distinctiveness Design Guide.
- 6.15 Appearance - The proposed development is made up of a total of seven different house types, with variations of each, and three flat block types. The majority of houses as per the outline remain detached or semi detached, with some small terraces introduced to give variety on the longer avenues. Roofs are pitched with hips, gables and pyramids, with gabled bays and canopies over entrance doors to help emphasise dwelling entrances.
- 6.16 The NPPF notes that, whilst innovative design should not be stifled, it is right to seek to promote or reinforce local distinctiveness and the Reigate and Banstead local distinctiveness design guidance sets out how this may be achieved locally. De Burgh Gardens is situated in the North Downs character area where certain materials would be more prevalent. The guidance also sets out building form that is typical of the wider area, in terms of the local Surrey vernacular.
- 6.17 Discussion from pre application stage onwards have resulted in added value in terms of the design improvements. Materials have been specified that reflect the local vernacular in terms of tile and brick softer local clay colours

and handmade textures. Initially concern was raised regarding the scale of the buildings in light of the proposed density. Amendments have been secured to change from more urban forms in terms of omitting parapets and large dormers, to the use of more organic forms such as low eaves which have helped reduce this scale. Cohesive built forms have been achieved that have a more unified and less disjointed approach, such as avoiding broken roof forms and monopitches. Blank elevations have been softened and the scale reduced by a mix of local materials, such as tile hanging. Improvements have also been achieved in terms of the fenestration, with the use of equal sightlines for joinery, verticality and hierarchy of openings, and consistency in proportion and the rhythm of openings. This has resulted in a more balanced approach to elevation treatment, which will contribute to the quality of the built scheme. Layouts have also been modified to provide a more cohesive and legible townscape, with built form enclosing and addressing key open spaces, a defined route of sequential spaces through the site, a reduction in car dominated frontages and a more sylvan approach in terms of hedge frontages and tree lined streets.

- 6.18 Materials have been considered to ensure the scheme reflects the local area, including bricks used in the De Burgh Gardens. Two different colour bricks are proposed across the scheme to deliver variety. Some houses and gables will be finished with vertical clay tile hanging to break up the brick and provide visual interest. There is no wood cladding proposed on the scheme.
- 6.19 On this basis it is considered that a high quality design could be achieved throughout the development and the layout, scale and appearance is acceptable.

#### Trees, landscape, public amenity and children's playspace

- 6.20 There would not be a significant loss of trees, the majority of which are located around the site boundaries and would be protected during the course of development. (Specifically 20 trees are proposed for removal, 16 are category C trees, 3 are Category U and 1 is category B, over 150 trees are proposed to be planted). On this basis there is no objection from the Council's Tree Officer and landscaping details would be conditioned.
- 6.21 The landscape strategy is based on the principles established by the outline, of a series of linked spaces which give focus to the different parts of the new neighbourhood. The landscape strategy accords with the policy principles established within the Preston Planning Framework, with public amenity and children's play facilities provided in similar locations to the outline consent. The proposals include the retention of the green spine - an open space corridor connecting Marbles Pond to Burgh Heath, a 10m native planting buffer strip between the development and Burgh Heath, a central green square and an amenity area to the south of the site.
- 6.22 In addition it now includes two new public open spaces, in the form of a new green square immediately to the south of the green spine and an informal amenity area in the north-west. Such that the proposal provides a greater



amount of open space compared to the outline. The scheme now provides a total of approximately 4985sqm of public amenity, including 1058sqm of children's play space and 2652sqm of wildflower meadow. This compares to a previous provision of approximately 4497sqm.

- 6.23 The number of street trees and landscape provision within parking courtyards has been increased following officer feedback, together an increase in the depth of front gardens and the widening of streets to enable sufficient space for planting. These improvements will deliver a higher quality more spacious environment.
- 6.24 It is proposed that all areas of open space, amenity and children's play areas, together with parking courts will be managed by a management company. These details would be secured by condition and within the Section 106.
- 6.25 One of the Local Areas of Play (LAP) has been changed to a Local Equipped Area of Play (LEAP) such that the scheme now delivers enhanced play facilities in the form of 2 x LAPs and 1 x LEAP located within the central Green Square. The applicant is aware of the need to enhance the level of provision with respect to play equipment and these details together with details relating to management and maintenance can be secured by condition.
- 6.26 Subject to conditions the application is considered to accord with local plan policy Pc4, Ho9 and Core Strategy policy Cs2 in this regard.

#### Neighbour amenity

- 6.27 The proposed layout has been designed so as to afford acceptable levels of amenity for existing neighbours and future occupiers of the development. The proposal adjoins neighbouring residential development on Marbles Way to the west, De Burgh Gardens and Hatch Gardens to the south and Chetwode Road to the north. Applewoods abuts the site to the north-west.
- 6.28 The proposed properties that adjoin the boundaries with De Burgh Gardens and Hatch Gardens are two storeys with those abutting the boundaries with Marbles Way and Chetwode Road a mix of two and two and ½ storeys. The majority of existing houses adjoin the proposed rear gardens of new dwellings (garden to garden). The new dwellings are set back an acceptable distance from the boundaries, (separation distances building to building vary from approx. 20m along Chetwode Road, approx. 25.5m along Hatch Gardens and approx. 37m along Marbles Way). There are instances where individual houses are in closer proximity for example 7, 21, 27 and 28 De Burgh Gardens where separation distances to new buildings range between 12.5 and 15.5m. In all circumstances it is considered the separation distances are sufficient such that there will be no significant impacts to amenity. Whilst there would be a change to the outlook from these properties and the amenities they currently enjoy, this change is not considered so harmful as to warrant refusal and the application is considered to have an acceptable impact by way of overlooking, loss of light and overbearing. A number of first

floor balconies are also proposed for removal as identified by condition 31 to remove harmful overlooking impact. The remaining balconies, whilst there would be a degree of overlooking to rear gardens are considered on balance acceptable.

- 6.29 At the south-east of the site the parking layout has been reconfigured to reduce the incidence of cars backing on to the rear gardens of Hatch Gardens. Additionally, the balcony to the house within Plot A28 has been removed to protect the privacy of the opposite house in De Burgh Gardens. The amendments have improved the scheme such that it is now considered acceptable in this respect.
- 6.30 In relation to neighbour amenity for future occupiers of the development, adequate spacing between buildings is provided, with window-to-window distances such to minimise overlooking. Furthermore, the distances between windows and private garden areas are generally in excess of 10m. The overall layout and siting of dwellings has been designed so as to avoid any unacceptable overlooking between new dwellings.
- 6.31 Dwellings would be sited so as to avoid any unacceptable level of overshadowing or overbearing impact. Furthermore, the proposed development has been designed to respect sunlight/daylight of neighbours (current and future) using the “45-degree rule”. As such, the amenity within the development provides good levels of sunlight/daylight and privacy for residents.
- 6.32 Permitted Development rights have are recommended to be removed via conditions in the recommendation on this application to provide control on any future development to safeguard interests of amenity and character.
- 6.33 The three large apartment blocks provide private amenity space in the form of patios or balconies. Whilst the small flat blocks (types E and F) do not provide private amenity space, however this is considered acceptable given the provision of various forms of communal or public open space available for use within close proximity. The overall amenity provided to future occupants would be acceptable.
- 6.34 The impact on the Applewood Centre has been assessed and is considered acceptable. The separation distance between the proposed dwellings and Applewood is considered such that it will result in no material loss of privacy and no significant noise and disturbance or overbearing impact would occur as a result of the proposed development. Compared to the outline consent the number of properties directly facing Applewood has reduced from 8 to 6, and with the exception of Plot F1, which faces Chetwode Road and is set forward of the centre, a separation distance of between 9 - 10m is proposed to the boundary. Building to building the separation distances are between 11 – 16.5m. Building heights are of a domestic scale and the separation distance between Applewood and Plot F1 has been increased compared to the outline. The impact is therefore considered acceptable.

- 6.35 A number of homes are proposed abutting the existing substation and its safeguarded extension site in the north-east corner of the site. All dwellings would comply with current building regulations, to ensure that appropriate internal noise levels are achieved within these homes. A condition is proposed with regards to the proposed sub-station extension to protect residential amenity.
- 6.36 Objections have been received due to the loss of private views but this is not a material planning consideration. Noise and disturbance resulting from the development when completed would be acceptable and accord with normal residential environments whilst any resulting from construction would be temporary and could be mitigated by condition.
- 6.37 Concern has been raised regarding crime fears. The applicant has confirmed the development would meet Secure by Design standards and this could be controlled by condition. A street lighting strategy/design has been submitted and is subject to condition to ensure that all public areas, including car parking courts and public amenity spaces, are adequately lit day and night. In light of the above the application is not considered to result in increased risk of crime.
- 6.38 Construction phasing - The development is proposed to be constructed in two phases, the southern part of the site (south of the green spine and comprising 69 dwellings) would be constructed first using the De Burgh Gardens access. The remainder of the site would then be constructed using the Chetwode Road access.

#### Highway matters

##### Access and serving

- 6.39 Access would be via De Burgh Gardens and Chetwode Road and is considered acceptable subject to conditions and S106 obligations to improve accessibility, particularly for construction traffic. A pedestrian route into the site is proposed to the north of Marbles Pond from Merefield Gardens. A 2m wide footway with layby parking is proposed on Chetwode Road extending the footpath beyond the site access and connecting to the existing footway to the north-east of the site. The principle of these accesses is approved by the outline consent.
- 6.40 On street parking currently takes place on the northern side of Chetwode Road. There is a strong desire for this parking to be retained, however concerns have been raised about whether or not the presence of parked cars would interfere with the function of the new access junctions on Chetwode Road. To address these concerns, the applicant has submitted two drawings which show the tracking of a refuse vehicle turning into and out of each of the proposed accesses, with a 2m allowance for the presence of parked cars. It is clear from these drawings, that both accesses would be able safely and satisfactorily accommodate the swept paths of a large service vehicle, even if cars were parked on the northern side of the road. A number of parking laybys are also proposed on the southern side of Chetwode Road, which will

be inset from the kerb. The provision of these laybys will also allow the existing on-street parking on the northern side to be retained.

- 6.41 Consistent with Surrey County Council design guidance on road / footway widths, carriageway widths have been designed as follows:
- Avenues – 5.5m wide with a 2m wide footway on either side
  - Lanes – minimum 4.8m wide shared surface
- 6.42 Refuse and recycling storage and collection has been designed in accordance with the Council's Recycling and Refuse Waste Storage and Collection Guidance. Further details are provided on page 63 of the Design and Access Statement.

#### Shared surfaces

- 6.43 Concerns have been raised in relation to the proposed 4.8m wide shared surface lanes within the development, in terms of their impact upon pedestrian safety. According to the DfT document 'Manual for Streets', shared surface streets are likely to work well in short lengths or where they form cul-de-sacs; where the volume of motor traffic is below 100 vehicles per hour; and where parking takes place in designated areas. The proposed shared surface lanes fit this criteria, as they form cul-de-sacs, will have very low levels of traffic movements, and have designated areas for off street parking. Nevertheless, the applicant is proposing to provide a 1.2m wide 'comfort zone' along one side of the overall paved width for pedestrians. This will be paved in a similar concrete block but with a contrasting pattern to differentiate its function. While the CHA does not have any concerns or objections in relation to the proposed shared surface lanes, it is considered that the provision of this 'comfort zone' would provide a benefit for pedestrians.

#### Parking

- 6.44 A total of 468 car parking spaces will be provided for the proposed 229 dwellings, 50 spaces more than the maximum parking standard of 418. This is an additional 104 parking spaces compared to the outline (and equates to an average of 2.04 spaces per home in comparison to 1.95 spaces per home proposed in consented scheme).
- 6.45 Of the 468 spaces, 399 are allocated with an additional 69 unallocated spaces for visitors /general use. All parking spaces have been designed to be a minimum of 2.5 x 5m with wider spaces at the ends of parking courts for ease of access.
- 6.46 Given the parking issues that exist on the residential streets within the Preston Estate, the CHA considers that this increased parking ratio will provide greater certainty that the development will be able to accommodate the associated parking demand, without leading to any overspill parking on the surrounding highway network.
- 6.47 All houses have parking within their curtilage, either to the side of the property, or allocated parking within a courtyard to the rear with the spaces benefiting from direct access into the rear garden. Parking for the flats is

provided within parking courts, located within close proximity to dwelling entrances.

- 6.48 Parking courts enable parking to be kept away from the road, ensuring that public spaces are not dominated by the car. All are overlooked to promote natural surveillance and would be well lit. A number are accessed via archways below first floor flats, an approach promoted in the Council's Local Distinctiveness Guide. These will have electronic gates controlled via a fob reader and a video entry system serving each associated dwelling, the detail of which would be secured by condition. The applicant has confirmed that not all parking courts are proposed to be gated. The parking courts located in front of plots C5 to C8 and F8 and F9, within area D, parking to the rear of plots C9 to C21 and adjacent to Plot G24 are not proposed to be gated. The desire for secure parking needs to be considered against the visual impact of gates in the streetscene and the operational use of the car park. On balance it is considered that the proposal as designed is acceptable but if members are minded to take a different view condition 11 could be extended to secure the use of gates on more or all parking courts.
- 6.49 Concerns have also been raised about the potential for the development to lead to unauthorised on-street and on-kerb parking. However, the proposed estate roads are of a sufficient width (5.5m) to allow cars to park on one side of the road, and other vehicles including large refuse vehicles to pass safely. The applicant has also amended the scheme design to limit the potential for unauthorised parking, by strategically positioning laybys and driveways along the road line; maximising the amount of front and side curtilage parking; providing parking within allocated courtyard spaces and layby spaces for visitors; and introducing more street planting/furniture including the use of knee-rails to physically prevent on-kerb parking secured by condition. The CHA is satisfied that these measures would successfully deter parking on the kerb or on the street.
- 6.50 Secure cycle parking is provided in accordance with RBBC standards with 1 space per one or two bedroom flat within dedicated cycle stores and 2 spaces per 3 or 4 bed house within rear garden sheds.
- 6.51 Financial contributions - The highway improvement schemes have all been identified as being required to facilitate future development within the Preston area and as part of the Preston Regeneration project aimed at improving access through the estate and to the development for all modes.
- As Chetwode Road is the primary route to the site, the highway works involving the removal of the central traffic island, the widening of the road, the hardening of the verge, and the provision of laybys, are required in order to accommodate the additional traffic generated by the proposed dwellings, and to enable safe and suitable access to the site by construction vehicles.
  - The highway improvements at the B2221 Great Tattenhams / A240 Reigate Road / Tattenham Way signal junction include alterations to the

signal sequence and phasing, and the implementation of new signal heads, a traffic island, lane alignments, and new road markings in the centre of the junction. The applicant has demonstrated that these improvements would significantly enhance performance and reduce congestion at this junction.

- The proposed forward funded shared cycle footway through Burgh Heath and onto the A240 will provide a key link between the development and local facilities such as the ASDA store on the A240 and The Beacon School.
- The one-way road changes on Long Walk and Broad Walk are required to reduce the impact of additional vehicles rat-running through the residential streets to the north of the development, between Chetwode Road and the B2221 Great Tattenhams. This scheme was mistakenly omitted from the Section 106 agreement for the previous application, however it was always intended to make these roads one way as part of the De Burgh development. A public consultation was recently carried out by the County Council for a one-way system at Coxdean and Ferriers Way. However, this scheme did not receive sufficient support, hence it will not be pursued any further.

6.52 Highway capacity - Modelling work has been undertaken to assess the impact of the development on the local highway network. This supplements the work previously undertaken to assess the impact of the consented scheme on three key junctions in the vicinity of the site. These included the Merefield Gardens / De Burgh Gardens priority junction (one of the site accesses), the B2221 Great Tattenhams / Merland Rise priority junction, and the Great Tattenhams / A240 Reigate Road / Tattenham Way signal junction. The results showed that the consented scheme would exacerbate capacity issues at the A240 Reigate Road junction. In light of this a scheme was designed to alter the signal sequence at the lights and alter the road markings. This was tested and shown to improve the junction so that it will operate within capacity in the test year of 2017 and the outline consent required a contribution towards highway improvements at this junction.

6.53 The applicant has carried out further traffic impact assessments as part of the current application for 229 dwellings, at six key junctions in the vicinity of the site. The Great Tattenhams / Epsom Lane North junction was not included in the assessment for either the consented scheme or the proposed scheme, as it was not considered to be a critical junction given its distance from the development site. Three scenarios were considered as part of the assessment: 2016 Base Year, 2021 Base with committed development (consented 186 units), and 2021 Base with committed and proposed development (additional 43 units). This has enabled the CHA to consider the impact of the proposed 43 units, separately from the consented scheme of 186 units.

6.54 The results show that the Great Tattenhams / Merland Rise junction and the Great Tattenhams / A240 Reigate Road junction will operate over capacity in

the AM and PM peak periods, in both the 2021 base with committed development scenario, and the 2021 with proposed development scenario. However, the traffic generated by the proposed 43 dwellings would only have a very slight, negligible impact on congestion and queuing at these junctions, which would be well within the limits of day-to-day traffic variability, when compared with the consented scheme.

- 6.55 In reality, increased congestion at the Great Tattenhams / Merland Rise junction would be likely to lead to drivers finding an alternative route from the development to Great Tattenhams, for example via Chapel Way or St Marks Road rather than Merland Rise. The impact on these alternative junctions has also been assessed, and they have more than sufficient capacity to accommodate the additional traffic generated by the proposed development.
- 6.56 In order to limit the potential for vehicles travelling from or to the A240 junction 'rat-running' through some of the smaller residential roads within the Preston Estate, the applicant is proposing short stretches of one way street at Broad Walk and Long Walk be provided, similar as to at other short stretches within the estate.
- 6.57 The applicant has demonstrated that altering the signal sequence and phasing of the lights at the Great Tattenhams / A240 Reigate Road junction would improve its performance so that it will operate within capacity, even with the additional traffic generated by the proposed development. The applicant has previously agreed to provide a contribution of £83,000 towards such improvements. As the proposed 43 units would have a negligible impact on this junction, the CHA considers that it would not be reasonable to increase the value of the required contribution.
- 6.58 Conclusion In light of the above the CHA having assessed considered local representations and having assessed the application on safety, capacity and policy grounds, has no objection to the application subject to conditions and completion of the S106.

#### Affordable Housing

- 6.59 Core Strategy Policy CS15 and the Council's Affordable Housing SPD require onsite affordable housing to be provided on housing developments of greater than 14 units. In line with the Council's policy Ho2, and the Preston Planning Framework, the application proposes 25% of the dwellings to be affordable. This equates to 57 dwellings and would comprise a mixture of shared ownership and homes for affordable rent, see breakdown at paragraph 4.1. This would be secured through the Section 106 Agreement.
- 6.60 The Core Strategy has introduced a higher affordable housing requirement of 30% but the Preston Planning Framework requires a lower proportion at 25% to redress the balance of social to market housing across the Preston Estate and so this is considered acceptable.

- 6.61 The housing mix has been revised since the application was submitted to;
- Reduce the number of 4 bedroom affordable houses (from 14 to 4, which is one less than proposed in the outline application). (The number of 3 bed affordable houses has subsequently increased)
  - Provide a higher proportion of 1 and 2 bed units allocated for affordable housing compared to market housing
  - Provide a policy compliant tenure split, with 40% of units being affordable rent and 60% shared ownership.
- 6.62 Whilst it is disappointing no two bedroom houses are provided (the developer states this is for viability reasons as flats provide more compact circulation) it is recognised the SPD does not specify the requirement for two bedroom houses only two bedroom units.
- 6.63 The scheme now proposes 2 no. 4 bedroom units for affordable rent. Following discussion with RBBC's Housing Officer it has been agreed that these remaining four bed homes can remain within the scheme, they must be marketed for 3 months at a discounted four bedroom rent. If these homes are not occupied by the end of this 3 month period, they must then be marketed at a discounted three bedroom rent. This would be secured within the S106 Agreement.
- 6.64 The applicant has submitted a plan identifying the location of the affordable housing properties in the north-eastern part of the site. The Council's affordable housing officer has been consulted on the application, including the location of the units and is satisfied with the siting. Following discussion and in light of the amendments the officer has confirmed the scheme is policy compliant and has no objection.
- 6.65 The affordable housing units will be rented or sold in accordance with the Nominations Protocol to be set out within the s106. The developer has yet to confirm their choice of registered provider.

#### Archaeology

- 6.66 The application covers a large area, close to but outside an area of archaeological potential. Nevertheless, given the size of the site it is considered appropriate to impose conditions requiring archaeological studies be undertaken as recommended by the SCC Archaeological Officer.

#### Flooding and drainage

- 6.67 The site is within flood zone 1 and the submitted Flood Risk Assessment concludes that the site is at limited risk of flooding. Surrey County Council as Lead Flood Authority was consulted on the application and responded confirming a position of no objection subject to conditions to ensure that the site can be satisfactorily drained without exacerbating the flood risk off site and to manage the surface water discharge.



- 6.68 Following further site investigation it has been confirmed that the ground conditions are not deemed suitable to receive surface water or infiltration SUDs features. As such the attenuation ponds that were proposed in the consented outline have been omitted from the proposed scheme. Surface water attenuation will instead be managed by three large attenuation tanks that will discharge water at controlled rates to deep-bore soakaways located at suitable locations on the development site. These have incorporated a 30% increase in rainfall intensity to cater for climate change. Details of the surface water drainage strategy have been secured via condition.
- 6.69 The FRA also includes a response from Thames Water confirming their acceptance of the proposed Foul Drainage Strategy. This strategy includes discharging the residential foul drainage to 3 separate foul sewer outfall positions. As part of the consultation with Thames Water, it is required to make a foul sewer connection to a public sewer across the rear garden of number 82 Hatch Gardens. The new sewer connection will be requisitioned from Thames Water at the appropriate time, with the applicant required to give requisite notice to the affected residents. Details of the drainage scheme would form part of the construction detail, secured through Building Regulations. On this basis the proposal would adequately provide for the additional waste water demands and so is considered acceptable.
- 6.70 Concern was raised by local residents regarding the detailed drainage strategy and how the strategy would be implemented with respect to the siting of existing drainage runs and existing properties. As noted above the detailed drainage strategy would form part of the construction detail, secured through Building Regulations and negotiations would be a private matter between the homeowner, developer and utility provider.

#### Wildlife

- 6.71 Concern has been raised regarding the potential for harm to wildlife. Protected species, including bats and their roosts are protected by law and the protected species legislation applies independently of planning permission.
- 6.72 Ecological assessments were submitted in support of the planning application, with the following surveys completed, extended Phase 1 habitat survey, bat, badger, great crested newt and reptile surveys. The habitat survey confirms the site is largely of low ecological value with the several of the hedgerows (with trees) which border the site of high ecological value.
- 6.73 A small breeding population of great crested newts was recorded with no recordings of reptiles, bat roosts or badger setts. Whilst the proposal would result in the redevelopment of the former playing fields, it is not considered likely to result in harm to existing wildlife habitats and provides opportunities to incorporate features into the design which are beneficial to biodiversity in accordance with para 118 of the NPPF, such as the green spine ecology corridor, and a 10m wide native planting buffer to Burgh Heath. The ecology report includes a number of recommendations for the management of the site

prior to development and the protection of wildlife and habitats during construction, including species mitigation, measures to enhance biodiversity within the site and the production of an onsite landscape and ecological management plan (LEMP). The requirement for a LEMP is to be secured by condition and an informative is included to ensure proposed lighting is sensitive to ecological habitats. It is concluded that provided the recommendations of the report are implemented and subject to mitigation secured by S106 agreement and conditions there are no material considerations preventing the development of the site.

- 6.74 Concern has been raised regarding the impacts that may arise from increased residential visitor pressure on the Burgh Heath SNCI. In accordance with the NPPF, CIL regulations, policy CS12 and the Planning Obligations and Infrastructure SPD a section 106 contribution of £50,000 is proposed to fund ecology mitigation and a Burgh Heath management plan to avoid, mitigate and compensate for expected increased residential visitor pressure on the Burgh Heath SINC.
- 6.75 The S106 also secures funding to deliver an enhancement to Marbles Pond, helping to secure its ecological value and provide an visual amenity improvement.
- 6.76 In light of the above the application is considered acceptable in principle from an ecological perspective subject to conditions and S106 mitigation and is considered to accord with local plan policy Pc4 and Pc2C and Core Strategy policy Cs2.

#### Community Infrastructure Levy (CIL)

- 6.77 The Community Infrastructure Levy (CIL) is a fixed charge which the Council will be collecting from some new developments from 1 April 2016. It will raise money to help pay for a wide range of infrastructure including schools, road, public transport, health, leisure and community facilities which are needed to support new development. This development would be CIL liable and, although the exact amount would be determined and collected after the grant of planning permission, an informal calculation shows a CIL liability of around £3,482,933.10 once indexation has been applied based on a floorspace of 23,573.30 sqm at £140 per sqm. If social housing relief is granted (based on 5,133.1sqm of affordable housing floorspace) this would reduce the CIL payment to £2,724,522.40. It would be anticipated that these monies would be directed towards the items identified in the Preston Planning Framework.

#### Infrastructure Contributions

- 6.78 Along with the transportation contributions to be sought (above), the application would also be required to contribute towards the forward funded Burgh Heath Path improvements, ecology mitigation and a Burgh Heath management plan to avoid, mitigate and compensate for expected increased residential visitor pressure on the Burgh Heath SINC and Marbles Pond improvement works.

6.79 The Community Infrastructure Levy (CIL) Regulations were introduced in April 2010 which state that it is unlawful to take a planning obligation into account unless its requirements are (i) relevant to planning; (ii) necessary to make the proposed development acceptable in planning terms; and (iii) directly related to the proposed development. Furthermore, contributions can no longer be pooled for infrastructure from 5 developments or more. However, all S106 contributions sought have been assessed against these tests and are considered to be specifically necessary and related to the development to comply with the relevant tests.

## CONDITIONS

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To comply with Section 91(1) of the Town and Country Planning Act 1990 as amended by Section 51 (1) of the Planning and Compulsory Purchase Act 2004.

2. The development hereby permitted shall be carried out in accordance with the following approved plans:

<b>Plan Type</b>	<b>Reference</b>	<b>Version</b>	<b>Date Received</b>
Location Plan	1457-P-099	P2	16.12.2016
Block Plan-key sections	1457-P-450	P1	16.12.2016
Site Layout Plan -Colour	1457-P-100	P21	05.05.2017
Block Plan – AH Plan	1457-P-160	P2	26.04.2017
Proposed Plan - Phasing	1457-P-170	P2	22.06.2017
Site Layout Plan – Landscape TM282L01		A	16.12.2016
Section Plan	1457-P-400	P5	22.06.2017
Section Plan	1457-P-401	P5	26.04.2017
Section Plan	1457-P-402	P5	26.04.2017
Section Plan	1457-P-403	P5	26.04.2017
Section Plan	1457-P-404	P4	26.04.2017
Section Plan	1457-P-405	P4	26.04.2017
Section Plan	1457-P-406	P5	26.04.2017
Section Plan	1457-P-407	P4	09.05.2017
Combined Plan HT J	1457-P-600	P5	26.04.2017
Combined Plan HT J1	1457-P-601	P3	26.04.2017
Combined Plan HT K	1457-P-605	P5	26.04.2017
Combined Plan HT K1	1457-P-606	P5	26.04.2017
Combined Plan HT L	1457-P-610	P4	26.04.2017
Combined Plan HT L2	1457-P-612	P4	26.04.2017
Combined Plan HT M	1457-P-615	P5	26.04.2017
Combined Plan HT M1	1457-P-616	P5	26.04.2017
Combined Plan HT M2	1457-P-617	P5	26.04.2017
Combined Plan HT M4	1457-P-619	P4	26.04.2017
Combined Plan HT N	1457-P-620	P3	26.04.2017

Combined Plan HT N1	1457-P-621	P4	26.04.2017
Combined Plan HT N2	1457-P-622	P3	26.04.2017
Combined Plan HT N3	1457-P-623	P3	26.04.2017
Combined Plan HT P	1457-P-625	P5	26.04.2017
Combined Plan HT P1	1457-P-626	P4	26.04.2017
Combined Plan HT P2	1457-P-627	P4	26.04.2017
Combined Plan HT P3	1457-P-628	P2	16.12.2016
Combined Plan HT P4	1457-P-629	P1	22.06.2016
Combined Plan HT O	1457-P-630	P3	26.04.2017
Combined Plan HT O1	1457-P-631	P3	26.04.2017
Combined Plan HT M5	1457-P-640	P4	26.04.2017
Combined Plan HT M6	1457-P-641	P5	26.04.2017
Combined Plan HT N4	1457-P-645	P1	26.04.2017
Combined Plan HT N5	1457-P-646	P1	26.04.2017
Combined Plan FB A	1457-P-650	P5	31.05.2017
Floor Plan FB B&C	1457-P-655	P5	31.05.2017
Elevation Plan FB B&C	1457-P-656	P4	31.05.2017
Combined Plan FB D	1457-P-660	P5	31.05.2017
Combined Plan FB E	1457-P-665	P2	26.04.2017
Combined Plan FB F	1457-P-670	P2	26.04.2017
Arb / Tree Protection Plan 9153/02		C 1/2	05.05.2017
Arb / Tree Protection Plan 9153/02		C 2/2	05.05.2017

Reason: To define the permission and ensure the development is carried out in accord with the approved plans and in accordance with National Planning Practice Guidance.

3. No development shall take place until the developer obtains the Local Planning Authority's written approval of details of both existing and proposed ground levels and the proposed finished ground floor levels of the buildings. The development shall be carried out in accordance with the approved levels.

Reason:

To ensure the Local Planning Authority are satisfied with the details of the proposal and its relationship with adjoining development and to safeguard the visual amenities of the locality with regard to Reigate and Banstead Borough Local Plan 2005 policy Ho9.

4. No development shall take place above ground floor slab level until written details of the materials to be used in the construction of the external surfaces, including fenestration and roof, have been submitted to and approved in writing by the Local Planning Authority, and on development shall be carried out in accordance with the approved details. The specification shall be in broad accordance with the details identified on the approved plans.

Reason:

To ensure that a satisfactory external appearance is achieved of the development with regard to Reigate and Banstead Borough Local Plan 2005 policies Ho9 and Ho13.

5. Notwithstanding the drawings, the proposed external finishing materials and details shall be carried out using the external facing materials and details specified below and there shall be no variation without the prior approval in writing of the Local Planning Authority;
- a) The box ends to bargeboards shall be omitted, to provide a straight edge.
  - b) All windows shall have casements in each opening to ensure equal sightlines and external astragal glazing bars of traditional profile.
  - c) All rooflights shall be black painted metal conservation rooflight with a single vertical glazing bar.
  - d) All window arches shall be of header brick, double header, segmental or gauged brick. No soldier stretcher arches to be included.
  - e) All fences shall be of vertically boarded timber with timber posts and gravel boards.

Reason:

To ensure that a satisfactory external appearance is achieved of the development with regard to Reigate and Banstead Borough Local Plan 2005 policies Ho9 and Ho13 and with regard to the Local Distinctiveness Design Guide 2004.

6. No development shall commence including demolition and or groundworks preparation until all related arboricultural matters including tree protection measures are implemented in strict accordance with the approved details contained in Ian Keen Ltd report ref AP/9153/WDC and drawing no 9153/02 RevC.

Reason:

To ensure good arboricultural practice in the interests of the maintenance of the character and appearance of the area and to comply with British Standard 5837:2012 'Trees in Relation to Design, demolition and Construction – Recommendations' and policies Pc4 and Ho9 of the Reigate and Banstead Borough Local Plan

7. No development, groundworks or demolition processes shall be undertaken until an agreed scheme of supervision for the arboricultural protection measures as required by condition 6 of this permission has been submitted to and approved in writing by the local planning authority. The supervision and monitoring shall be undertaken in strict accordance with the approved details. The submitted details will include:

1. Pre-commencement meeting between the retained arboricultural consultant, local planning authority Tree Officer and individuals and personnel responsible for the implementation of the approved development
2. Timings, frequency and methods of site visiting and an agreed reporting process to the local planning authority.
3. The supervision monitoring and reporting process shall be undertaken by a qualified arboriculturalist.

Reason:

To ensure good arboricultural practice in the interests of the maintenance of the character and appearance of the area and to comply with British Standard 5837:2012 'Trees in Relation to Design, demolition and Construction – Recommendations' and policies Pc4 and Ho9 of the Reigate and Banstead Borough Local Plan

Informative:

The use of a suitably qualified arboricultural consultant is essential to provide acceptable submissions in respect of the arboricultural tree condition above. All works shall comply with the recommendations and guidelines contained within British Standard 5837

8. No development shall commence on site above ground floor slab level until a scheme for the landscaping of the site in accordance with the principles established within the Design and Access Statement and landscape masterplan including the retention of existing landscape features has been submitted to and approved in writing by the LPA.

The landscaping scheme shall include details of hard and soft landscaping, including any tree removal/retention, planting plans, written specifications (including cultivation and other operations associated with tree, shrub, and hedge or grass establishment), schedules of plants, noting species, plant sizes and proposed numbers/densities and an implementation and management programme, and should address the following site specific details:

- a) the use of concrete setts or an alternative scheme to be agreed in discussion with the County Highway Authority on the Avenue where the green spine is 'broken' by the north-south road network.
- b) the inclusion of knee rails around the central green spine and the southern Green court to prevent unauthorised parking
- c) the inclusion of a 1.2m wide pedestrian comfort zone along one side of the shared surfaces within the lanes.

All hard and soft landscaping work shall be completed in full accordance with the approved scheme, prior to occupation or within the first planting season following completion of the development hereby approved or in accordance with a programme agreed in writing with the local planning authority.

Any trees shrubs or plants planted in accordance with this condition which are removed, die or become damaged or become diseased within five years of planting shall be replaced within the next planting season by trees, shrubs of the same size and species.

Reason:

To ensure good arboricultural and landscape practice in the interests of the maintenance of the character and appearance of the area and to comply with policies Pc4 and Ho9 of the Reigate and Banstead Borough Local Plan 2005.

Informative:

The use of a landscape/arboricultural consultant is considered essential to provide acceptable submissions in respect of the above relevant condition. The planting of trees and shrubs shall be in keeping with the character and appearance of the locality.

9. No development shall commence until a landscape and ecological management plan (LEMP) for the conservation of ecological and landscape features within the red line, including long term design objectives, management responsibilities and maintenance schedules for all landscape

areas (hard and soft) and ecological areas, other than small, privately owned, domestic gardens, shall be submitted to and approved in writing by the Local Planning Authority.

The LEMP should be based on the proposed impact mitigation and biodiversity enhancements set out in the Richard Graves Associates Extended Phase 1 Habitat Update 2016 and the results of additional bat survey recommended within paragraph 3.7.1 of the above report.

The LEMP shall ensure that construction activities on site have regard to the potential presence of protected species and ensure recommendations are incorporated with respect to 'means of escape' and precautionary working methods that follow best ecological practice.

The development shall be carried out and thereafter managed in accordance with the approved LEMP.

Reason:

To preserve and enhance the visual amenities of the locality and ensure that the development would not harm any wildlife or protected species with regard to Reigate and Banstead Borough Local Plan 2005 policies Ho9, Ho13 and PC2G.

10. The development hereby approved shall not be occupied until details, specifications of materials (including ground surface treatments and boundary treatments) and/or play equipment to be used in the construction of the play areas, together with a programme of delivery and details for their future management arrangements, have been submitted to and approved in writing by the Local Planning Authority.

Reason:

In order that the Local Planning Authority may be satisfied that such provision is satisfactory and to the required standard with regard to Reigate and Banstead Borough Local Plan 2005 policies Ho9, Re5 and Re6.

11. No development shall commence above ground floor slab level until details of gates (where relevant), other means of access control, and lighting for the parking courts has been submitted to and approved in writing by the Local Planning Authority.

The development shall be carried out and thereafter maintained in accordance with the approved details.

Reason:

To ensure that a satisfactory external appearance is achieved of the development with regard to Reigate and Banstead Borough Local Plan 2005 policies Ho9 and Ho13.

12. The development shall not be occupied until a plan indicating the positions, design, materials and type of boundary treatment to be erected has been submitted to and approved in writing by the Local Planning Authority. The

boundary treatment for each phase shall be completed before the occupation of that phase of the development hereby permitted.

Reason:

To preserve the visual amenity of the area and protect neighbouring residential amenities with regard to the Reigate and Banstead Borough Local Plan 2005 policies Ho9 and Pc4.

13. No development shall commence until a Construction Transport Management Plan, to include details of:
- (a) parking for vehicles of site personnel, operatives and visitors
  - (b) loading and unloading of plant and materials
  - (c) storage of plant and materials
  - (d) programme of works (including measures for traffic management)
  - (e) provision of boundary hoarding behind any visibility zones
  - (f) HGV deliveries and hours of operation
  - (g) construction vehicle routing to and from the site
  - (h) measures to prevent the deposit of materials on the highway
  - (i) before and after construction condition surveys of the highway and a commitment to fund the repair of any damage caused
  - (j) on-site turning for construction vehicles
- has been submitted to and approved in writing by the Local Planning Authority. Only the approved details shall be implemented during the construction of the development.

Reason:

In order that the development should not prejudice highway safety nor cause inconvenience to other highway users in accordance with Core Strategy (2014) policies CS10 and CS17, policies Mo5 and Mo7 of the Reigate and Banstead Borough Local Plan 2005 and the objectives of the NPPF 2012.

14. The development hereby approved shall not be first occupied unless and until the proposed vehicular and pedestrian accesses to Chetwode Road have been constructed and provided with visibility zones of 2.4m by 43m in both directions in accordance with the approved plans and thereafter the visibility zones shall be kept permanently clear of any obstruction over 1.05m high.

Reason:

In order that the development should not prejudice highway safety nor cause inconvenience to other highway users in accordance with Core Strategy (2014) policies CS10 and CS17, policies Mo5 and Mo7 of the Reigate and Banstead Borough Local Plan 2005 and the objectives of the NPPF 2012.

15. The development hereby approved shall not be first occupied unless and until the proposed vehicular and pedestrian access to De Burgh Gardens has been constructed in accordance with the approved plans.

Reason:

In order that the development should not prejudice highway safety nor cause inconvenience to other highway users in accordance with Core Strategy (2014) policies CS10 and CS17, policies Mo5 and Mo7 of the Reigate and Banstead Borough Local Plan 2005 and the objectives of the NPPF 2012.



16. The development hereby approved shall not be first occupied unless and until the proposed 2m wide footway along the site frontage on Chetwode Road has been designed and constructed in accordance with a scheme to be submitted to and approved in writing by the Local Planning Authority.

Reason:

In order that the development should not prejudice highway safety nor cause inconvenience to other highway users in accordance with Core Strategy (2014) policies CS10 and CS17, policies Mo5 and Mo7 of the Reigate and Banstead Borough Local Plan 2005 and the objectives of the NPPF 2012.

17. Each dwelling hereby approved shall not be first occupied unless and until the relevant parking spaces for that dwelling and phase have been laid out within the site in accordance with the approved plans for cars to be parked and for service vehicles to turn so that they may enter and leave the site in forward gear. Thereafter the parking /turning areas shall be retained and maintained for their designated purposes.

Reason:

In order that the development should not prejudice highway safety nor cause inconvenience to other highway users in accordance with Core Strategy (2014) policies CS10 and CS17, policies Mo5 and Mo7 of the Reigate and Banstead Borough Local Plan 2005 and the objectives of the NPPF 2012.

18. Each dwelling hereby approved shall not be first occupied unless and until the following facilities have been provided for the relevant dwelling in accordance with a scheme to be submitted to and first approved in writing by the Local Planning Authority for:

(a) The secure parking of bicycles for the proposed flats within the development site, and thereafter the said approved facilities shall be provided, retained and maintained to the satisfaction of the Local Planning Authority.

Reason:

In order to promote sustainable travel options in in accordance with Core Strategy (2014) policies CS10 and CS17, policy Mo7 of the Reigate and Banstead Borough Local Plan 2005 and the objectives of the NPPF 2012.

19. Prior to occupation of the development a full Travel Plan shall be submitted for the written approval of the Local Planning Authority in accordance with the sustainable development aims and objectives of the National Planning Policy Framework, Surrey County Council's "Travel Plans Good Practice Guide", and in general accordance with the draft Framework Residential Travel Plan dated February 2017 (Project no. 70017829).

And then the approved Travel Plan shall be implemented upon first occupation of the development, and for each and every subsequent occupation of the development, and thereafter shall be maintained and developed to the satisfaction of the Local Planning Authority.

Reason:

In order to promote sustainable travel options in accordance with Core Strategy (2014) policies CS10 and CS17, policy Mo7 of the Reigate and Banstead Borough Local Plan 2005 and the objectives of the NPPF 2012.

20. No development shall take place until the applicant has secured the implementation of a programme of archaeological work in accordance with a Written Scheme of Investigation which has been submitted by the applicant and approved by the Planning Authority.

Reason:

The site covers an area in which it is considered necessary to preserve for future reference any archaeological information before it is destroyed by the development with regard to the Reigate and Banstead Borough Local Plan 2005 policy Pc8.

21. The development hereby permitted shall not commence until details of the design of a surface water drainage scheme has been submitted to and approved in writing by the local planning authority. Hereafter the drainage scheme shall be implemented and maintained in strict accordance with the approved details. Those details shall include:

- a) Detailed drawings of all the finalised deep bore soakaway Sustainable Drainage Systems (SuDs) elements and layout;
- b) Details of how the Sustainable Drainage System will be protected during construction of the development;
- c) Details of construction phasing. i.e. how drainage will be dealt with during works including pollution prevention
- d) Details as to how the petrol interceptors and deep bore soakaways are to be maintained and who will be responsible for maintaining these.

Reason:

To ensure the design meets the technical standards for SuDs and the final drainage design does not increase flood risk on or off site in accordance with Policy Ut4 and the NPPF and that construction works do not compromise the functioning of the agreed Sustainable Drainage System with regard to Local Plan 2005 Policies Ut3/4 and the NPPF 2012: Technical Guidance.

Informative:

It is recommended that the Environment Agency is contacted regarding the use and details of the deep bore soakaways to ensure they are satisfied with the proposal.

22. Prior to the first occupation of the development, a verification report carried out by a qualified drainage engineer must be submitted to and approved by the Local Planning Authority to demonstrate that the Sustainable Drainage System (SuDs) has been constructed as per the agreed scheme

Reason:

To ensure the Sustainable Drainage System has been constructed as agreed and to protect the amenity of residents and to ensure that the site is satisfactorily drained with regard to Reigate and Banstead Borough Local Plan 2005 Ut4

23. Prior to first occupation, an Energy Statement setting out how the development will achieve at least a 19% reduction in carbon dioxide

emissions compared to the Target Emission Rate (TER) contained with the 2013 Part L1A Building Regulations Approved Document shall be submitted to and approved in writing by the local planning authority. Development shall thereafter be carried out in accordance with the approved details.

Reason:

To ensure the development is sustainable development and sustainable construction in accordance with policy CS10 and CS11 of the Core Strategy (2014) and the objectives of the National Planning Policy Framework (NPPF) (2012).

24. Prior to first occupation, a statement setting out how each dwelling will achieve a water efficiency of 110 litres/person/day in accordance with the higher standard contained within 2015 (as amended) Part G Building Regulations Approved Document shall be submitted to and approved in writing by the local planning authority. Development shall thereafter be carried out in accordance with the approved details.

Reason:

To ensure the development is sustainable development and sustainable construction in accordance with policy CS10 and CS11 of the Core Strategy (2014) and the objectives of the National Planning Policy Framework (NPPF) (2012).

25. No development of any dwellings and flats shall take place until details of the proposed lighting design and specification (of lighting along all avenues and lanes, parking courts and public spaces) has been submitted to and approved in writing by the Local Planning Authority, in consultation with SCC Highways and the development shall be carried out in accordance with the approved details.

Reason:

To ensure that a satisfactory external appearance is achieved of the development with regard to Reigate and Banstead Borough Local Plan 2005 policies Ho9 and Ho13.

26. Prior to first occupation of any dwelling, details of any proposed street furniture, including bins, seating, bollards and any other street furniture have been submitted to and approved in writing by the Local Planning Authority in consultation with SCC Highways, and the development shall be carried out in accordance with the approved details.

Reason:

To ensure that a satisfactory external appearance is achieved of the development with regard to Reigate and Banstead Borough Local Plan 2005 policies Ho9 and Ho13.

27. Prior to the commencement of the development above ground floor slab level, full details (and plans where appropriate) of the waste management collection points, (and pulling distances where applicable), throughout the whole development shall be submitted to and approved in writing by the Local Planning Authority.

All waste storage and collection points should be of an adequate size to accommodate the bins and containers required for the dwelling(s) which they are intended to serve in accordance with the Council's guidance contained within Making Space for Waste Management in New Development.

Each dwelling or flat shall be provided with the above facilities in accordance with the approved details prior to occupation of the relevant dwellings.

Reason:

To provide adequate waste facilities in the interests of the amenities of the area and to encourage in accordance with Reigate and Banstead Borough Local Plan (2005) policy Ho9.

29. Prior to the extension of the sub-station details of the proposed building and noise mitigation shall be submitted to the Local Planning Authority to ensure it has an acceptable impact on the neighbouring properties particularly plots C1 – C5 and the use of their residential gardens. The approved scheme shall be implemented in accordance with the approved details

Reason:

To ensure that the development does not affect the amenity of the neighbouring properties by noise impact in accordance with Reigate and Banstead Borough Local Plan 2005 policy Ho9.

30. Notwithstanding condition 2, the proposed first floor balconies on plots A28, B1, F10 shall be omitted and privacy screening shall be provided on the first floor balcony of plot C34. Revised plans shall be submitted to and approved in writing by the Local Planning Authority prior to the commencement of works above ground floor slab level. The development shall thereafter be carried out in accordance with the approved details.

Reason:

To ensure that the development does not affect the amenity of neighbouring properties by overlooking in accordance with Reigate and Banstead Borough Local Plan 2005 policy Ho9

31. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (or any order revoking and re-enacting that Order with or without modification), no extensions permitted by Classes A and B of Part 1 of the Second Schedule of the 2015 Order shall be constructed.

Reason:

To control any subsequent enlargements in the interests of the visual and residential amenities of the locality with regard to Reigate and Banstead Borough Local Plan 2005 policies Ho9, Ho13, and Ho16

## INFORMATIVES

1. Your attention is drawn to the safety benefits of installing sprinkler systems as an integral part of new development. Further information is available at [www.firesprinklers.info](http://www.firesprinklers.info).

2. Your attention is drawn to the fact that this permission is subject to a legal agreement the provisions of which should be complied with in full. A payment of infrastructure contributions is required and there is a requirement to notify the Council in advance of commencement of development. Payment of then becomes due.

On commencement of development, notice should be sent to the Planning Authority in writing or email to [planning.applications@reigate-banstead.gov.uk](mailto:planning.applications@reigate-banstead.gov.uk) advising that works have started. The sum described above is payable within a period of 28 days from commencement of development.

The development, once started, will be monitored by my enforcement staff to ensure compliance with the legal agreement and the conditions. Failure to pay the agreed infrastructure contribution will result in legal action being taken against the developer and/or owner of the land for default of the relevant agreement.

3. The applicant is advised that prior to the initial occupation of any individual dwelling house hereby permitted, a 140 litre wheeled bin conforming to British Standard BSEN840 and a 60 litre recycling box should be provided for the exclusive use of the occupants of that home. Prior to the initial occupation of any communal dwellings or flats, wheeled refuse bins conforming to British Standard BSEN840, separate recycling bins for paper/card and mixed cans, and storage facilities for the bins should be installed by the developer prior to the initial occupation of any dwelling hereby permitted. Further details on the required number and specification of wheeled bins and recycling boxes is available from the Council's Neighbourhood Services on 01737 276501 or 01737 276097, or on the Council's website at [www.reigate-banstead.gov.uk](http://www.reigate-banstead.gov.uk). Bins and boxes meeting the specification may be purchased from any appropriate source, including the Council's Neighbourhood Services Unit on 01737 276775.
4. You are advised that the Council will expect the following measures to be taken during any building operations to control noise, pollution and parking:
- (a) Work that is audible beyond the site boundary should only be carried out between 08:00hrs to 18:00hrs Monday to Friday, 08:00hrs to 13:00hrs Saturday and not at all on Sundays or any Public and/or Bank Holidays;
  - (b) The quietest available items of plant and machinery should be used on site. Where permanently sited equipment such as generators are necessary, they should be enclosed to reduce noise levels;
  - (c) Deliveries should only be received within the hours detailed in (a) above;
  - (d) Adequate steps should be taken to prevent dust-causing nuisance beyond the site boundary. Such uses include the use of hoses to damp down stockpiles of materials, which are likely to generate airborne dust, to damp down during stone/slab cutting; and the use of bowsers and wheel washes;
  - (e) There should be no burning on site;
  - (f) Only minimal security lighting should be used outside the hours stated above; and

- (g) Building materials and machinery should not be stored on the highway and contractors' vehicles should be parked with care so as not to cause an obstruction or block visibility on the highway.

Further details of these noise and pollution measures can be obtained from the Council's Environmental Health Services Unit. In order to meet these requirements and to promote good neighbourliness, the Council recommends that this site is registered with the Considerate Constructors Scheme - [www.ccscheme.org.uk/index.php/site-registration](http://www.ccscheme.org.uk/index.php/site-registration).

5. The north western corner of applicant site (plots F1 and F8) are situated on or in close proximity to land that could be potentially contaminated by virtue of previous historical use of the land, a potentially infilled former pond. As a result there is the potential for a degree of ground contamination to be present beneath part(s) of the site. Groundworkers should be made aware of this so suitable mitigation measures and personal protective equipment measures (if required) are put in place and used. Should significant ground contamination be identified in this location or elsewhere across the site then the Local Planning Authority should be contacted promptly for further guidance.
6. The applicant is advised that the essential requirements for an acceptable communication plan forming part of a Method of Construction Statement are viewed as: (i) how those likely to be affected by the site's activities are identified and how they will be informed about the project, site activities and programme; (ii) how neighbours will be notified prior to any noisy/disruptive work or of any significant changes to site activity that may affect them; (iii) the arrangements that will be in place to ensure a reasonable telephone response during working hours; (iv) the name and contact details of the site manager who will be able to deal with complaints; and (v) how those who are interested in or affected will be routinely advised regarding the progress of the work. Registration and operation of the site to the standards set by the Considerate Constructors Scheme (<http://www.ccscheme.org.uk/>) would help fulfil these requirements.
7. The Highway Authority has no objection to the proposed development, subject to the above conditions but, if it is the applicant's intention to offer any of the roadworks included in the application for adoption as maintainable highways, permission under the Town and Country Planning Act should not be construed as approval to the highway engineering details necessary for inclusion in an Agreement under Section 38 of the Highways Act 1980. Further details about the post-planning adoption of roads may be obtained from the Transportation Development Planning Division of Surrey County Council.
8. The permission hereby granted shall not be construed as authority to carry out any works on the highway. The applicant is advised that a permit and a Section 278 or 38 agreement must be obtained from the Highway Authority before any works are carried out on any footway, footpath, carriageway, verge or other land forming part of the highway. All works on the highway will require a permit and an application will need to be submitted to the County

Council's Street Works Team up to 3 months in advance of the intended start date, depending on the scale of the works proposed and the classification of the road. Please see: <http://www.surreycc.gov.uk/roads-and-transport/road-permits-and-licences/the-traffic-management-permit-scheme>.

9. The developer is reminded that it is an offence to allow materials to be carried from the site and deposited on or damage the highway from uncleaned wheels or badly loaded vehicles. The Highway Authority will seek, wherever possible, to recover any expenses incurred in clearing, cleaning or repairing highway surfaces and prosecutes persistent offenders. (Highways Act 1980 Sections 131, 148, 149).
10. The developer is advised that as part of the detailed design of the highway works required by the above conditions, the County Highway Authority may require necessary accommodation works to street lights, road signs, road markings, highway drainage, surface covers, street trees, highway verges, highway surfaces, surface edge restraints and any other street furniture/equipment.
11. The developer would be expected to instruct an independent transportation data collection company to undertake the monitoring survey for the Travel Plan. This survey should conform to a TRICS Multi-Modal Survey format consistent with the UK Standard for Measuring Travel Plan Impacts as approved by the Highway Authority. To ensure that the survey represents typical travel patterns, the organisation taking ownership of the travel plan will need to agree to being surveyed only within a specified annual quarter period but with no further notice of the precise survey dates. The Developer would be expected to fund the survey validation and data entry costs.
12. Consideration should be given to the use of low level lighting in parking courts and the sensitive use of lighting to mitigate the impact of external lighting on landscaped areas, with reference to protected species habitats in accordance with the recommendations of the Richard Graves Associates Extended Phase 1 Habitat Update 2016

## **REASON FOR PERMISSION**

The development hereby permitted has been assessed against development plan policies CS1, CS2, CS4, CS6, CS8, CS10, CS11, CS12, CS13, CS14, CS15, CS17 and Pc2G, Pc3, Pc4, Ho2, Ho3, Ho8, Ho9, Ho13, Ho16, Ut3, Ut4, Mo5, Mo6, Mo7 and Mo8 and material considerations, including third party representations. It has been concluded that the development is in accordance with the development plan and there are no material considerations that justify refusal in the public interest.

## **Proactive and Positive Statements**

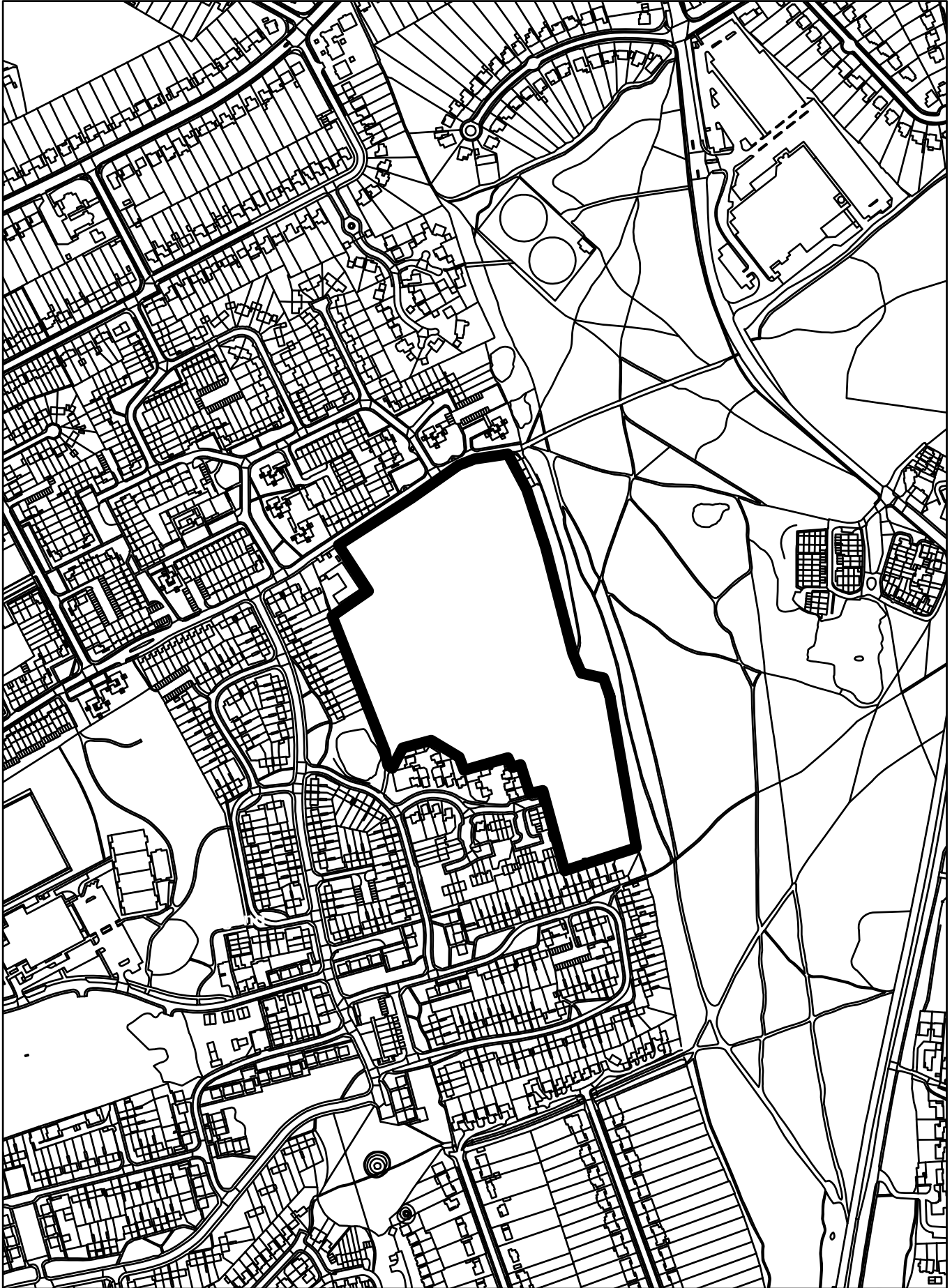
*The following statement is therefore to be added to the recommendations on all the applications for planning permission to be granted*

The Local Planning Authority has acted positively and proactively in determining this application by assessing the proposal against all material considerations, including planning policies and any representations that may have been received and subsequently determining to grant planning permission in accordance with the presumption in favour of sustainable development where possible, as set out within the National Planning Policy Framework.

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16/02949/F - Site Of Former De Burgh School,  
Chetwode Road, Tadworth




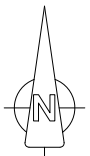
**Notes**

Do not scale this drawing.  
 All dimensions to be checked by the Contractor before construction proceeds.  
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rev.	date.	dwn.
P1	11.11.16	LS
P2	15.12.16	LS

**Legend**

 Site Boundary



**Preliminary Issue**

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**Architecture**  
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project Former De Burgh School Site, Tadworth, Surrey, KT20 5LH  
 London Square

title **Site Plan as Existing**

scale 1:1500 @ A3 dwn LS  
 date November 2016 chk BJS

drg no. **1457-P-099** rev **P2**



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rev.	date.	dwn.
P1	27.03.17	LS
P2	13.04.17	LS

Schedule of Accommodation updated to suit latest Gross Internal Areas.  
Plot C26 amended as Affordable Rent following request from RBBC's Affordable Housing Officer.



## Key

- Affordable Rent
- Shared Ownership

### AFFORDABLE Schedule of Accommodation

Tenure	Total	Mix				NSA		GIA	
		Flats		Houses		sq.m	sq.ft	sq.m	sq.ft
		1B2P	2B4P	3B5P	4B6P				
Affordable Rent	23 (40%)	5	6	10	2	1,926.2	20,733.4	2,128.4	22,909.9
Shared Ownership	34 (60%)	10	12	10	2	2,613.1	28,127.1	3,004.7	32,342.3
<b>Total</b>	<b>57</b>	<b>15</b>	<b>18</b>	<b>20</b>	<b>4</b>	<b>4,539.3</b>	<b>48,860.5</b>	<b>5,133.1</b>	<b>55,252.2</b>
		<b>33 (58%)</b>		<b>24 (42%)</b>					

## Planning Issue

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London Square

title Proposed Affordable Housing Plan

scale 1:1500 @ A3 dwn LS

date March 2017 chk BJS

drg no. 1457-P-160 rev P2



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Rev	Date	Issue
P1	08.02.16	LS
P2	01.03.16	LS
P3	15.03.16	LS
P4	12.04.16	LS
P5	25.05.16	LS
P6	05.06.16	LS
P7	31.08.16	LS
P8	10.10.16	LS
P9	25.10.16	LS
P10	22.11.16	LS
P11	12.12.16	LS
P12	27.01.17	LS
P13	21.02.17	LS
P14	27.02.17	LS
P15	08.03.17	LS
P16	10.03.17	LS
P17	14.03.17	LS
P18	12.04.17	LS
P19	18.04.17	LS
P20	21.04.17	LS



**Key**

- Planning boundary
- Burgh Heath SNCI Boundary
- A Area
- A20 Plot number
- A20 Allocated car parking space
- A20 Visitor car parking space
- L1 Dwelling type
- A20 Refuse Collection Point
- Existing tree to be retained
- Existing tree to be removed
- Proposed new tree
- Existing ground level
- Proposed new ground level
- Ground floor finished floor level
- Main estate road
- Shared surface
- Meadow
- LAP Local Area of Play

**Planning Issue**

**Stanford Eatwell Architecture**  
Architectural Practice

Former De Burgh School Site, Tadworth, Surrey, KT20 5LH  
London Square

**Proposed Site Plan**

Scale: 1:500 @ A0 Date: LS  
 Date: January 2016 Author: BJS

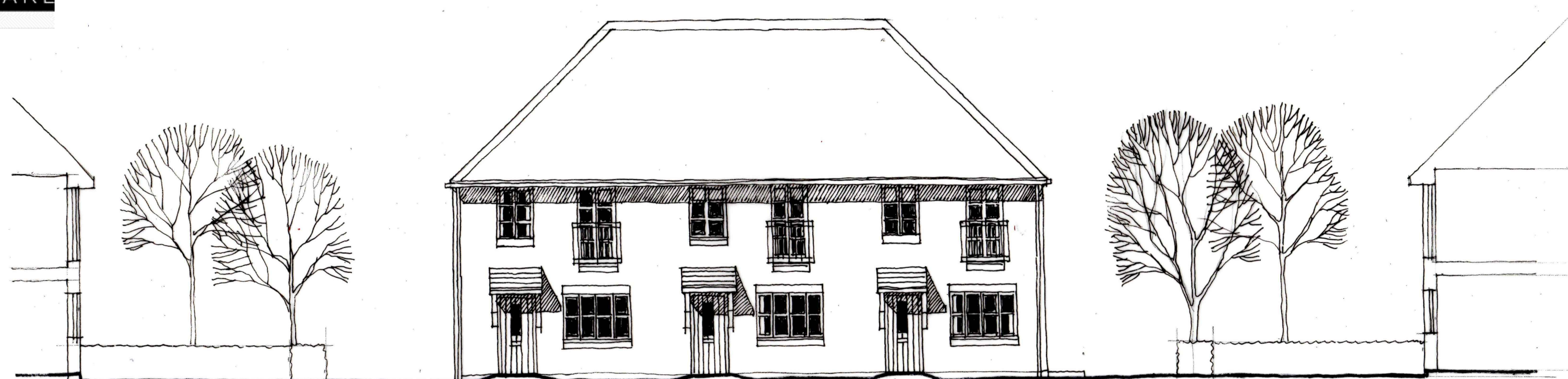
Project: 1457-P-100 Rev: P20



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rev.	date.	des.
P1	11.08.16	LS
P2	03.11.16	LS
P3	15.12.16	LS
P4	08.03.17	LS
P5	10.03.17	LS



◀ PLOT A20 House Type N ✕ PLOT A21 House Type N ✕ PLOT A22 House Type N ▶

Site Section 01 - Area A North Elevation (Plots A20 to A22)



◀ PLOT A23 House Type M6(h) ✕ PLOT A24 House Type O(h) ▶ PLOT A25 House Type L2 ✕ PLOT A26 House Type L2(h) ▶ PLOT A27 House Type N1 ✕ PLOT A28 House Type K ▶

Site Section 02 - Area A East Elevation (Plots A23 to A28)



◀ PLOT B22 House Type K1(h) ✕ PLOT B21 House Type N1(h) ▶ PLOT B20 House Type N4 ✕ PLOT B19 House Type N5(h) ✕ PLOTS B14 - B18 Flat Block F ▶

Site Section 03 - Area B West Elevation (Plots B14 to B22)

**Planning Issue**

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project De Burgh Gardens, Tadworth, Surrey, KT20 5LH  
 London Square

title Proposed Site Sections Sheet 1

scale 1:100 @ A1  
 date August 2016

des. LS  
 chk. BJS  
 rev. P5

1457-P-400



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Rev.	Description	Date	By
P1	First Issue	11.08.16	LS
P2	Planning Issue	15.12.16	LS
P3	Proposed Street Section 15: Flat Block E redesigned following comments from RBBC Urban Design Officer. Proposed Street Section 16: Plot B1 amended from House Type M6 to House Type K1. Plots B5 & B6 reorientated.	12.04.17	LS
P4	Colour added. Street Elevation 17 added. Drawing 1457-P-408 omitted.	05.05.17	LS



Proposed Street Elevation 15 - Area A West Elevation (Plots A12 to A19)



Proposed Street Elevation 16 - Area B North Elevation (Plots B1 to B5)



Proposed Street Elevation 17 - Area D West Elevation (Plots D1 to D26)

**Planning Issue**

**Stanford | Eatwell**  
 Architecture  
 1457-P-408  
 Former De Burgh School Site, Tadworth, Surrey, KT20 5LH  
 London Square

project: Former De Burgh School Site, Tadworth, Surrey, KT20 5LH  
 London Square

title: Proposed Site Sections Sheet 8

scale: 1:100 @ A0  
 date: August 2016

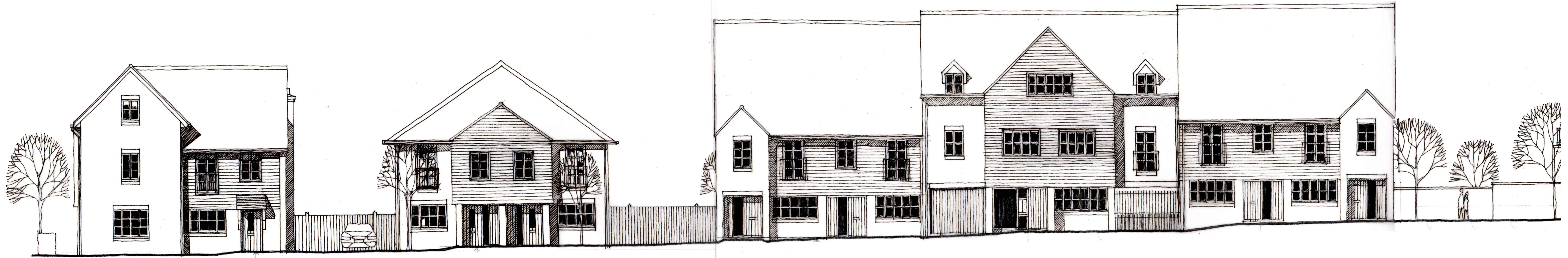
drawing no.: 1457-P-407  
 revision: P4





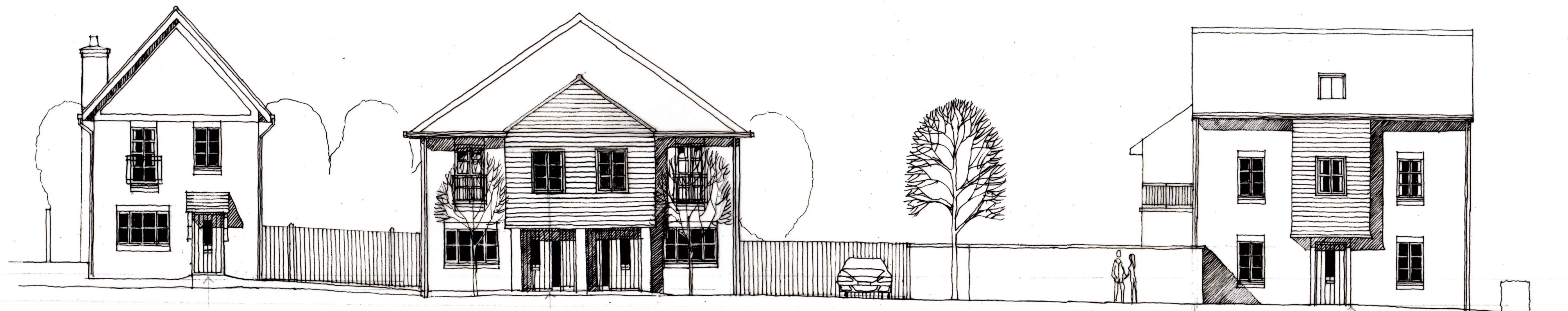
PLOT B28 House Type K1(h)    PLOT B27 House Type N2(h)    PLOT B26 House Type M(h)    PLOT B25 House Type O(h)    PLOT B24 House Type J    PLOT B23 House Type J(h)    PLOT B22 House Type K1(h)

Site Section 04 - Area B North Elevation (Plots B22 to B28)



PLOT B38 House Type K(h)    PLOT B37 House Type N3(h)    PLOT B36 House Type J    PLOT B35 House Type J(h)    PLOT B34 House Type N5    PLOT B33 House Type N4(h)    PLOTS B31 - B32 Flat Block Type E    PLOT B30 House Type N4    PLOT B29 House Type N5(h)

Site Section 05 - Area B East Elevation (B29 to B38)



PLOT B41 House Type O1(h)    PLOT B40 House Type J    PLOT B39 House Type J(h)    PLOT B38 House Type K(h)

Site Section 06 - Area B South Elevation (B38 to B41)

**Notes**

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rev.	date	dm.
P1	11.08.16	LS
P2	03.11.16	LS
P3	15.12.16	LS
P4	08.03.17	LS
P5	12.04.17	LS

P1 First Issue.  
 P2 Plot numbers and types indicated.  
 P3 Planning Issue.  
 P4 Site Section 05: Plots B29 to B34 redesigned in response to comments from RBBC Officers.  
 P5 Site Section 04: Cable added to Plots B23 & B24.  
 Site Section 05: Cable added to Plots B35 & B36.  
 Site Section 06: Plots B39 & B40 amended as House Type J.

**Planning Issue**

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project De Burgh Gardens, Tadworth, Surrey, KT20 5LH  
 London Square

title Proposed Site Sections Sheet 2

scale 1:100 @ A1    dm LS

date August 2016    dk BJS

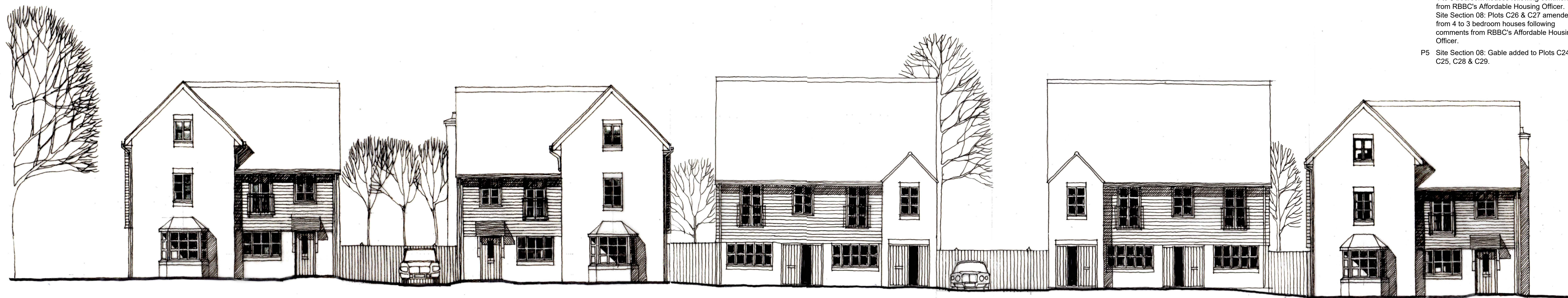
dng no. 1457-P-401    rev P5



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rev.		date.	dm.
P1	First Issue.	11.08.16	LS
P2	Plot numbers and types indicated.	03.11.16	LS
P3	Planning Issue.	15.12.16	LS
P4	Site Section 07: Plots C5 to C8 amended from 4 to 3 bedroom houses following comments from RBBC's Affordable Housing Officer. Site Section 08: Plots C26 & C27 amended from 4 to 3 bedroom houses following comments from RBBC's Affordable Housing Officer.	08.03.17	LS
P5	Site Section 08: Gable added to Plots C24, C25, C28 & C29.	12.04.17	LS



◀ PLOT C1 House Type K1(h) ✕ PLOT C2 House Type N1(h) ▶  
 ◀ PLOT C3 House Type N3 ✕ PLOT C4 House Type K1 ▶  
 ◀ PLOT C5 House Type N4 ✕ PLOT C6 House Type N5(h) ▶  
 ◀ PLOT C7 House Type N5 ✕ PLOT C8 House Type N4(h) ▶  
 ◀ PLOT C9 House Type K1(h) ✕ PLOT C10 House Type N3(h) ▶

Site Section 07 - Area C West Elevation (Plots C1 to C10)



◀ PLOT C22 House Type K1(h) ✕ PLOT C23 House Type N2(h) ▶  
 ◀ PLOT C24 House Type J ✕ PLOT C25 House Type J(h) ▶  
 ◀ PLOT C26 House Type N5 ✕ PLOT C27 House Type N5(h) ▶  
 ◀ PLOT C28 House Type J ✕ PLOT C29 House Type J(h) ▶

Site Section 08 - Area C West Elevation (Plots C22 to C29)

**Planning Issue**

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London Square

title Proposed Site Sections Sheet 3

scale 1:100 @ A1 dm LS

date August 2016 dk BJS

orig no. 1457-P-402 rev P5



**Notes**

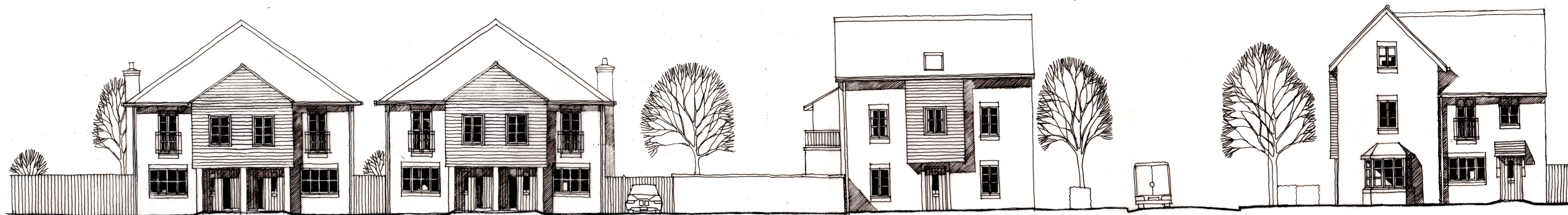
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rev.		date.	dm.
P1	First Issue.	11.08.16	LS
P2	Plot numbers and types indicated.	03.11.16	LS
P3	Planning Issue.	15.12.16	LS
P4	Site Section 09: Plots D29 to D32 redesigned in response to comments from RBBC Officers.	08.03.17	LS
P5	Site Section 10: Plots E2 & E3 amended as a House Type J.	12.04.17	LS



◀ PLOT D33 House Type N2(h) ▶    ◀ PLOT D32 House Type P1 ✕ PLOT D31 House Type P1(h) ▶    ◀ PLOT D30 House Type P1 ✕ PLOT D29 House Type P1(h) ▶    ◀ PLOT D28 House Type N2 ✕ PLOT D27 House Type K1 ▶    ◀ PLOT C34 House Type K ▶

Site Section 09 - Area D South Elevation (Plots C34 & D27 to D33)



◀ PLOT E4 House Type J1 ✕ PLOT E3 House Type J(h) ▶    ◀ PLOT E2 House Type J ✕ PLOT E1 House Type J1(h) ▶    ◀ PLOT E28 House Type K1(h) ▶    ◀ PLOT F6 House Type K1(h) ✕ PLOT F5 House Type N(h) ▶

Site Section 10 - Area E North Elevation (Plots E1 to E4, E28 & F5 to F6)

**Planning Issue**

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title Proposed Site Sections Sheet 4

scale 1:100 @ A1 dm LS

date August 2016 ck BJS

orig no. 1457-P-403 rev P5



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rev.	date.	des.
P1	11.08.16	LS
P2	03.11.16	LS
P3	08.03.17	LS
P4	12.04.17	LS



PLOT E13 House Type K    PLOT E12 House Type J    PLOT E11 House Type J(h)    PLOT E10 House Type N5    PLOT E9 House Type N5(h)    PLOT E8 House Type K(h)    PLOT E7 House Type N3(h)    PLOT E6 House Type N3    PLOT E5 House Type K

Site Section 11 - Area E East Elevation (Plots E5 to E13)



PLOT E28 House Type K1(h)    PLOT E27 House Type N(h)    PLOT E26 House Type L2    PLOT E25 House Type L2(h)    PLOT E24 House Type P1    PLOT E23 House Type P1(h)    PLOT E22 House Type L    PLOT E21 House Type L(h)    PLOT E20 House Type K(h)

Site Section 12 - Area E West Elevation (Plots E20 to E28)

**Planning Issue**

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project De Burgh Gardens, Tadworth, Surrey, KT20 5LH  
 London Square

title Proposed Site Sections Sheet 5

scale 1:100 @ A1    date August 2016    des. LS    chk. BJS

orig no. 1457-P-404    rev. P5



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rev.	date.	dm.
P1	11.08.16	LS
P2	03.11.16	LS
P3	08.03.17	LS
P4	12.04.17	LS



◀ PLOT F11 House Type K1 ▶      ▶ PLOT F10 House Type K1 ▶      ▶ PLOT F7 House Type M6(h) ▶      ▶ PLOT F6 House Type K1(h) ▶

Site Section 13 - Area F East Elevation (Plots F6 to F11)



▶ PLOT F27 House Type M4 ▶      ▶ PLOT F25 House Type P4 ▶      ▶ PLOT F24 House Type P1 ▶      ▶ PLOT F23 House Type P1(h) ▶      ▶ PLOT F22 House Type P1 ▶      ▶ PLOT F21 House Type P1(h) ▶      ▶ PLOT F20 House Type J ▶

Site Section 14 - Area F East Elevation (Plots F20 to F27)

**Planning Issue**

**Stanford | Eatwell**  
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 London Square

title Proposed Site Sections Sheet 6

scale 1:100 @ A1 dm LS

date August 2016 chk BJS

orig no. 1457-P-405 rev P4



**Notes**

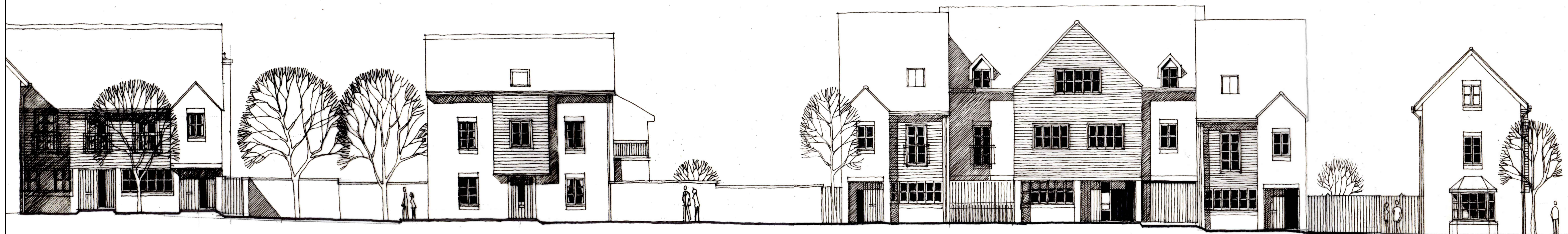
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rev.		date.	dm.
P1	First Issue.	11.08.16	LS
P2	Plot numbers and types indicated.	03.11.16	LS
P3	Planning Issue.	15.12.16	LS
P4	Site Section 15: Plots G2 to G7 redesigned in response to comments from RBBC Officers. Site Section 16: Plots G15 & G18 redesigned in response to comments from RBBC Officers.	08.03.17	LS
P5	Site Section 15: Gable added to Plots G8 & G9.	12.04.17	LS



PLOT G10 House Type K      PLOT G9 House Type J      PLOT G8 House Type J(h)      PLOT G7 House Type P      PLOT G6 House Type P2      PLOTS G4 - G5 Flat Block Type E      PLOT G3 House Type P2(h)      PLOT G2 House Type P(h)

Site Section 15 - Area G East Elevation (Plots G2 to G10)



PLOT G19 House Type K      PLOT G18 House Type P      PLOTS G16 - G17 Flat Block Type E      PLOT G15 House Type P(h)      PLOT G14 House Type K1

Site Section 16 - Area G West Elevation (Plots G14 to G25)

**Planning Issue**

**Stanford | Eatwell**  
**Architecture**

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project De Burgh Gardens, Tadworth, Surrey, KT20 5LH  
 London Square

title Proposed Site Sections Sheet 7

scale 1:100 @ A1 dm LS

date August 2016 dk BJS

orig no. 1457-P-406 rev P5



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Issue	Date	By
P1 First Issue	25.05.16	LS
P2 Front & side elevations redesigned.	16.08.16	LS
P3 Planning Issue. Refuse & cycle stores updated to accord with RBBC standards.	15.12.16	LS
P4 The hanging above rear entrance pulled forward near flush with adjacent brickwork in response to RBBC Officer's comments post submission. Sliding patio doors replaced with french doors.	12.04.17	LS
P5 Half and half tile hanging / brickwork gables omitted and replaced by a full tile hung gable as per RBBC Officer's comments. Second floor plan corrected to show roof adjacent to stair. General minor amendments.	30.05.17	LS

**External Material Specification**

External Walls:	Wienerberger Hathaway Brindled Red Multi Stock brickwork or similar with natural colour mortar
Roofs:	Keymer Goxhill Dark Red Clay roof tiles or similar
Windows:	uPVC windows (colour: White RAL 9003) with high performance double glazing
Entrance Doors:	GRP composite doorset from IG Door Fibrecolour range with double glazed side screens (colour: Light or Medium Oak or painted) or similar
Fascias/Soffits:	White uPVC
Rainwater goods:	Round section uPVC gutters and downpipes (colour: Black)
Balconies:	Polyester Powder Coated Mild Steel (colour: Black)



Front Elevation



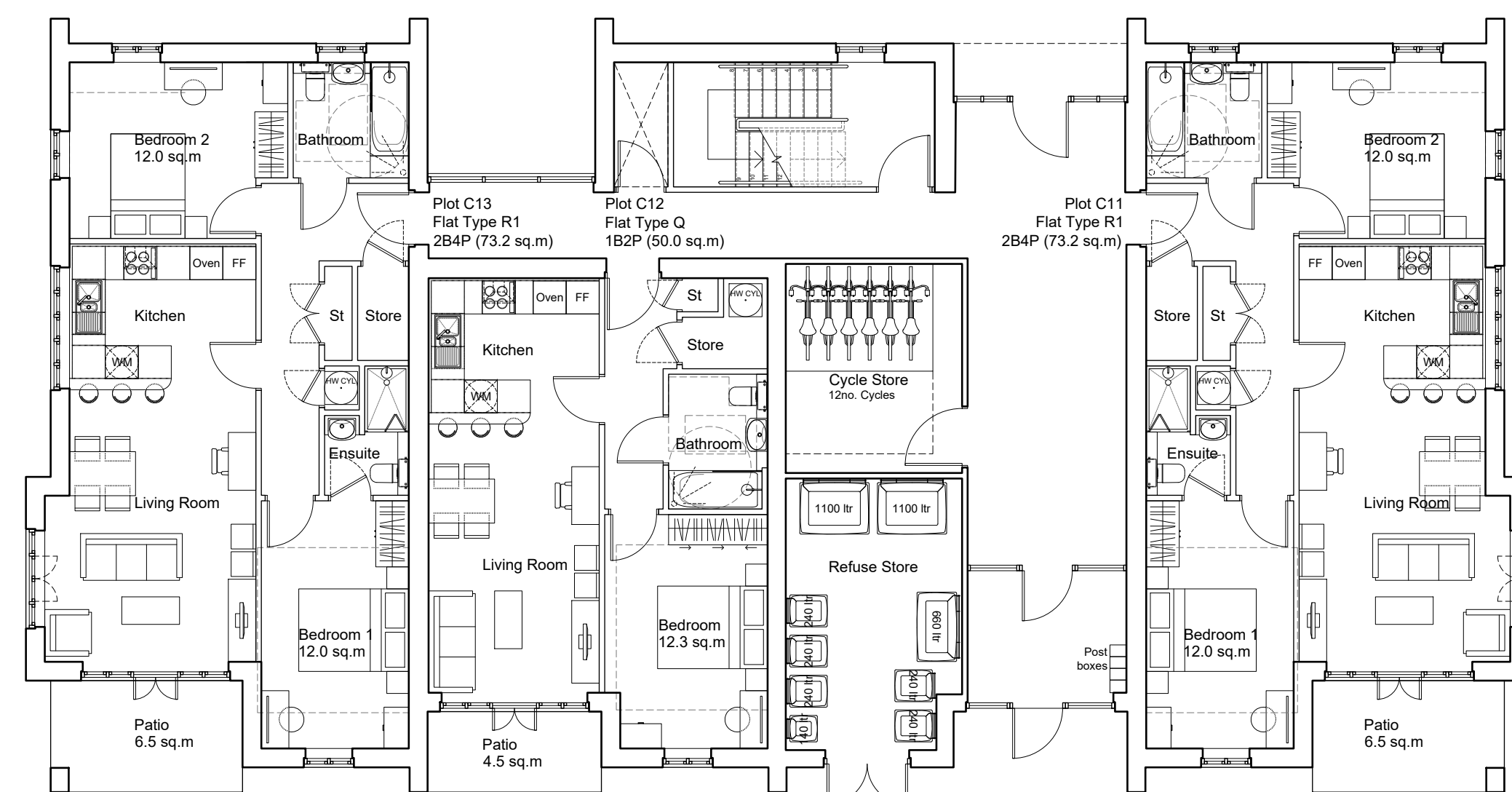
Side Elevation



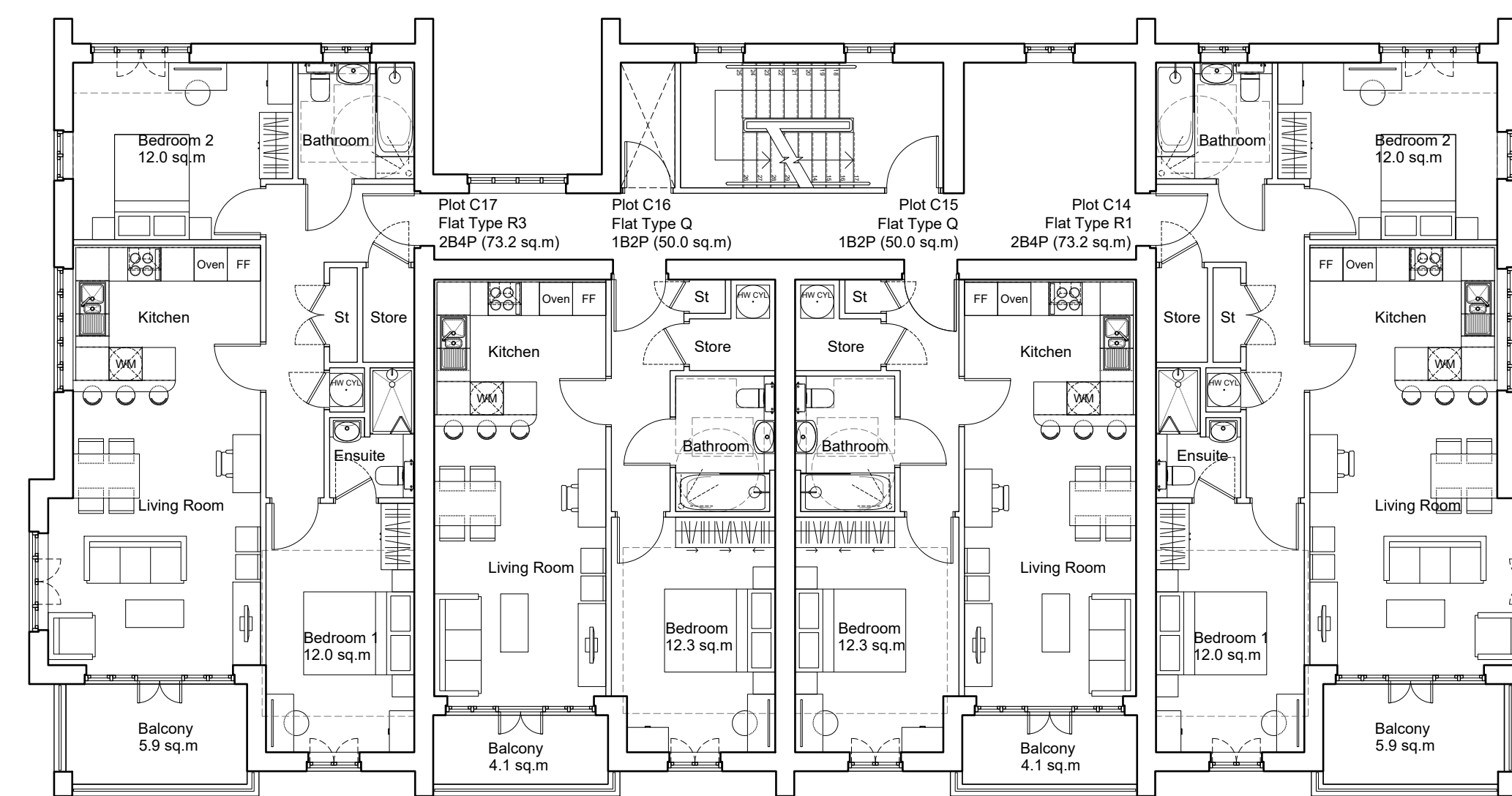
Rear Elevation



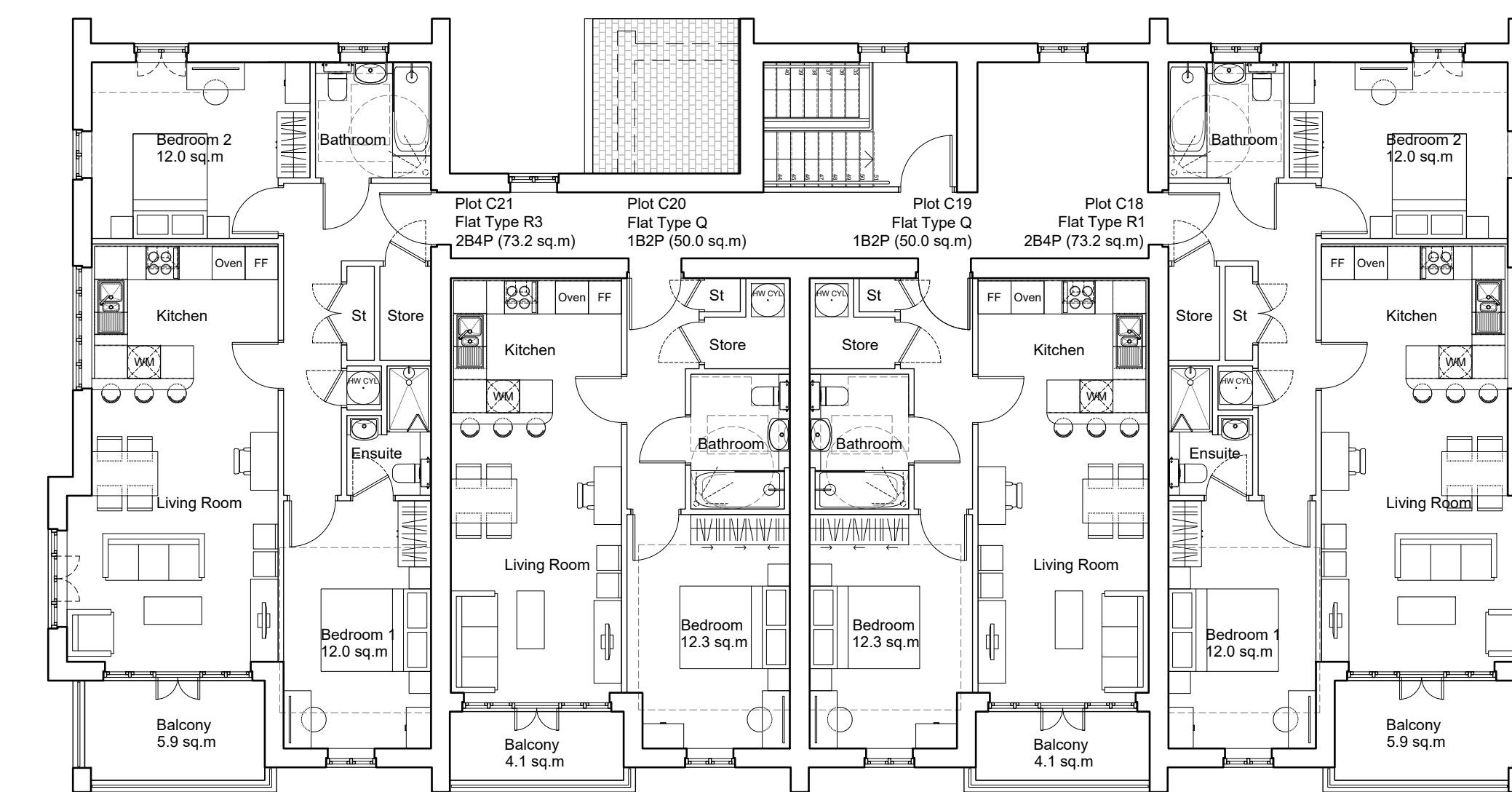
Side Elevation



Ground Floor Plan



First Floor Plan



Second Floor Plan

**Flat Type Q**

Dwelling Type (bedroom / persons)  
 1 Bed 2 Person  
 Gross Internal Area (GIA)  
 50.0 sq.m  
 Applicable Plots  
 C12, C15, C16, C19 & C20

**Flat Type R1**

Dwelling Type (bedroom / persons)  
 2 Bed 4 Person  
 Gross Internal Area (GIA)  
 73.2 sq.m  
 Applicable Plots  
 C11, C13, C14 & C18

**Flat Type R3**

Dwelling Type (bedroom / persons)  
 2 Bed 4 Person  
 Gross Internal Area (GIA)  
 73.2 sq.m  
 Applicable Plots  
 C17 & C21

**Planning Issue**

**Stanford | Eatwell**  
 Architecture  
 CONSULTANTS

Download Plan | Siteplan Stanford | Home | CM22 7WE  
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project: Former De Burgh School Site, Tadworth, Surrey, KT20 5LH  
 London Square

site: Flat Block A Proposed Floor Plans & Elevations

scale: 1:100 @ A0  
 date: April 2016  
 rev: BJS

fig no: 1457-P-650  
 rev: P5



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Rev.	Description	Date	By
P1	First Issue	25.05.16	LS
P2	Planning Issue	15.12.16	LS
P3	Tile hanging above rear entrance pulled forward near flush with adjacent brickwork in response to RBBC Officer's comments post submission. Sliding patio doors replaced with french doors.	12.04.17	LS
P4	Half and half tile hanging / brickwork gables omitted and replaced by a full tile hung gable as per RBBC Officer's comments. Rear entrance to Block B repositioned. General minor amendments.	30.05.17	LS

**External Material Specification**

External Walls:	Wienerberger Loxley Red Multi Stock brickwork or similar with natural colour mortar
Roofs:	Keymer Goxhill Dark Red Clay roof tiles or similar
Windows:	uPVC windows (colour: White RAL 9003) with high performance double glazing
Entrance Doors:	GRP composite doorset from IG Door Fibrecolour range with double glazed side screens (colour: Light or Medium Oak or painted) or similar
Fascias/Soffits:	White uPVC
Rainwater goods:	Round section uPVC gutters and downpipes (colour: Black)
Balconies:	Polyester Powder Coated Mild Steel (colour: Black)



Front Elevation



Side Elevation



Rear Elevation



Side Elevation

**Planning Issue**

**Stanford | Eatwell**  
**Architecture**  
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project: Former De Burgh School Site, Tadworth, Surrey, KT20 5LH  
 London Square

**Flat Block B/C Proposed Elevations**

scale:	1:100 @ A0	date:	LS
date:	April 2016	drawn by:	BJS
project no.:	1457-P-656	revision:	P4





Front Elevation



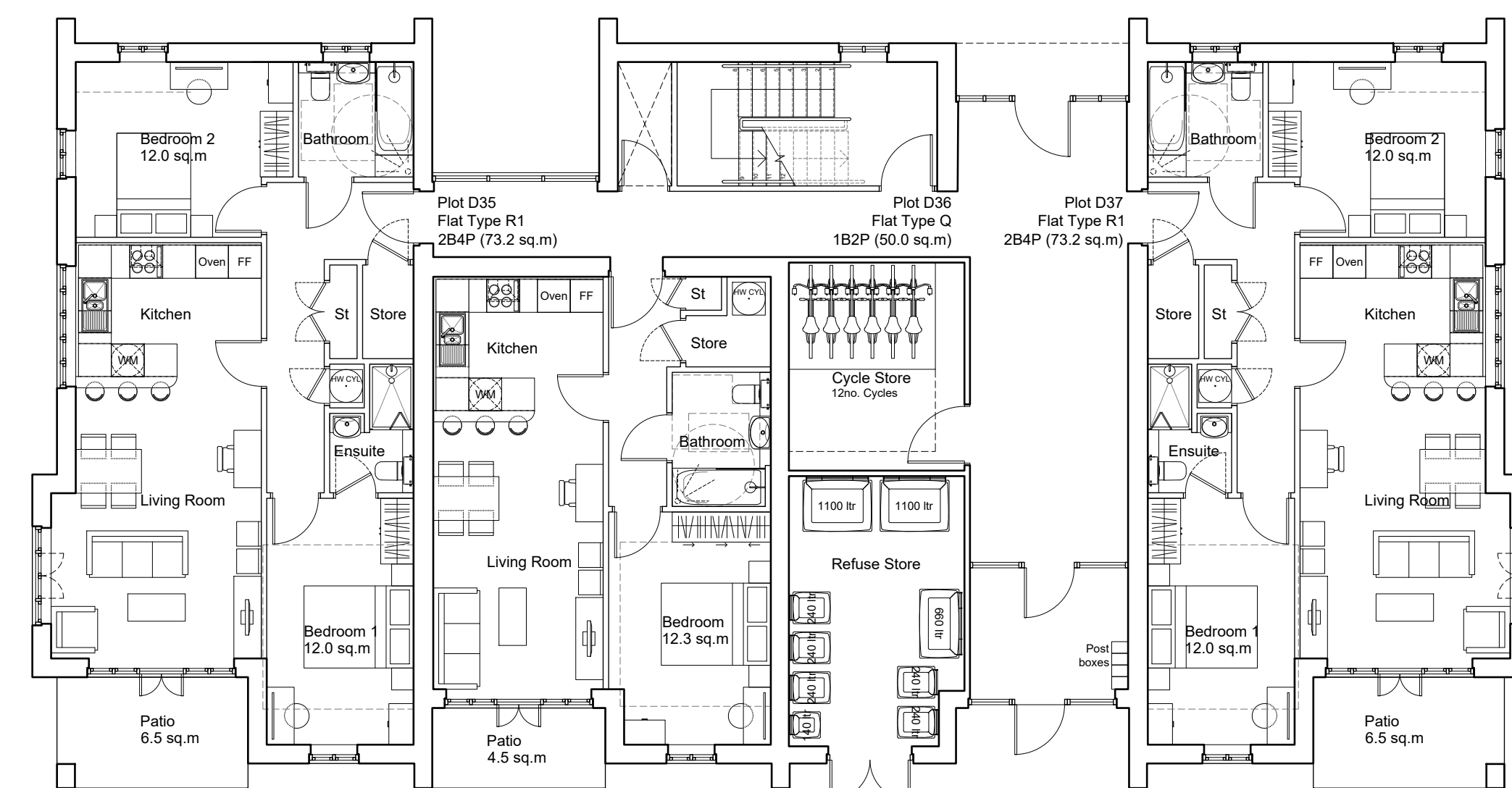
Side Elevation



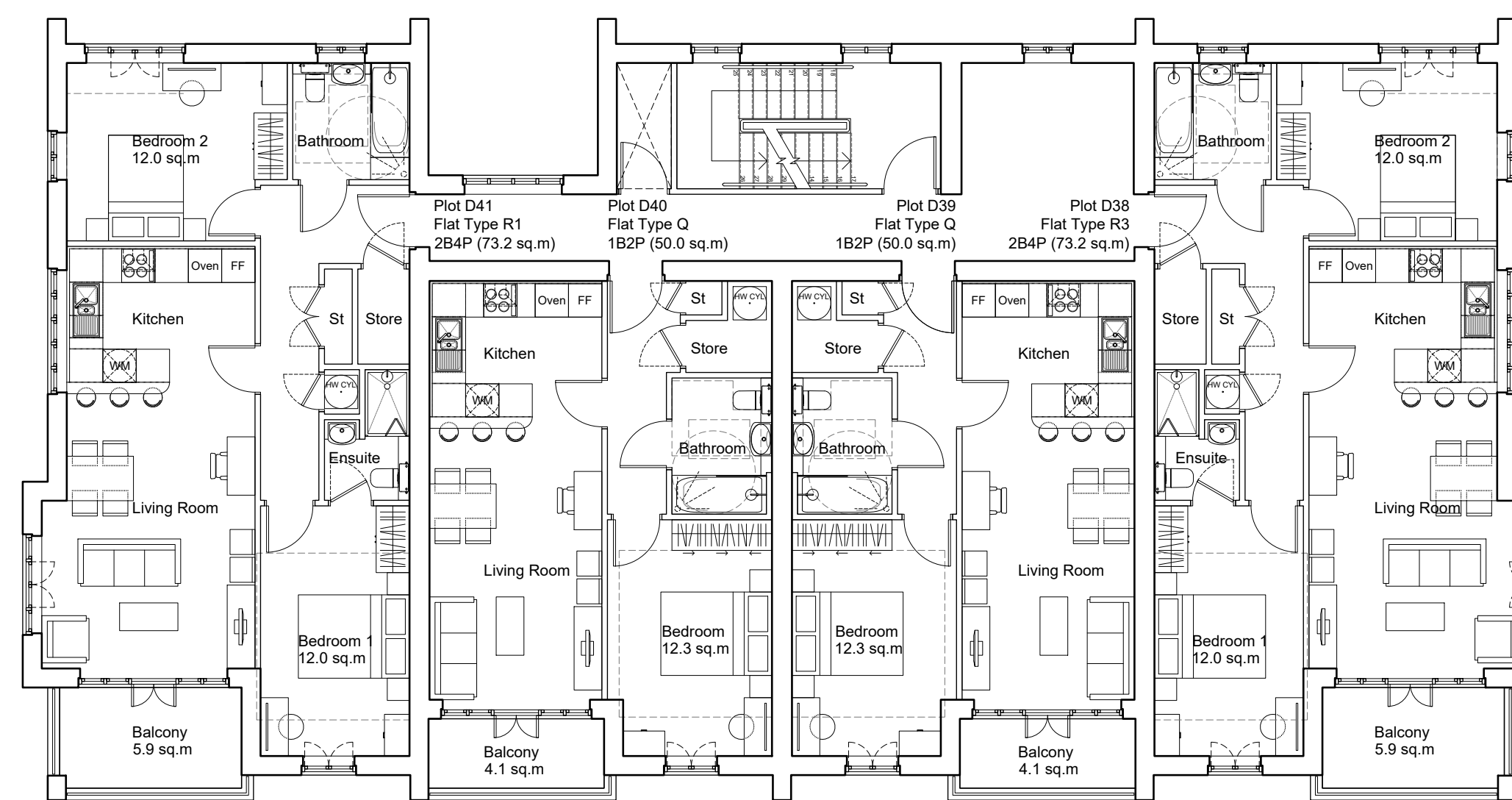
Rear Elevation



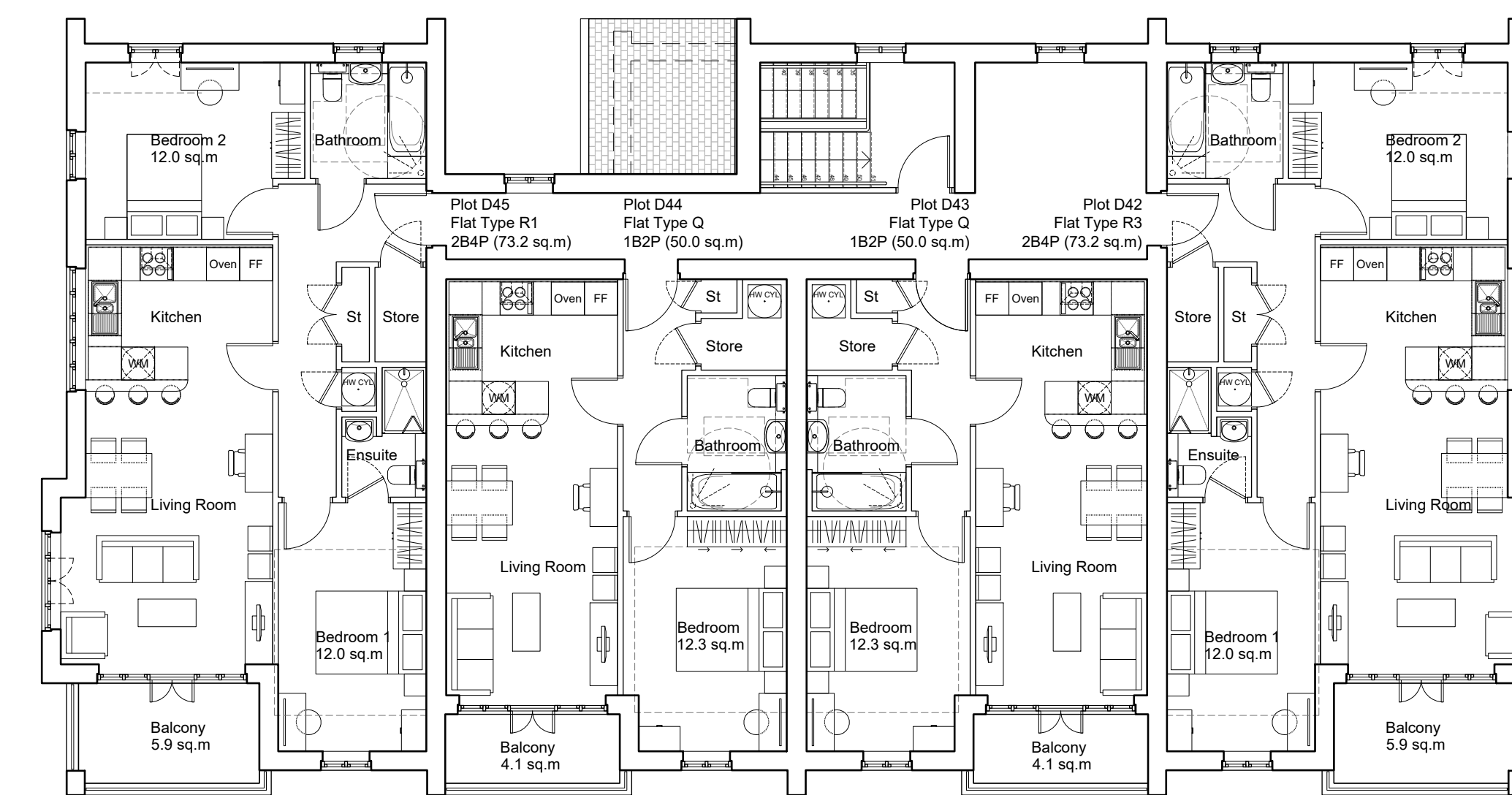
Side Elevation



Ground Floor Plan



First Floor Plan



Second Floor Plan

**Notes**

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All dimensions to be checked by the Contractor before construction proceeds.  
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Issue	Date	By
P1 First Issue	25.05.16	LS
P2 Front & side elevations redesigned. Floor plans updated to suit.	16.08.16	LS
P3 Planning Issue	15.12.16	LS
P4 Tile hanging above rear entrance pulled forward near flush with adjacent brickwork in response to RBBC Officer's comments post submission. Sliding patio doors replaced with french doors.	12.04.17	LS
P5 Half and half tile hanging / brickwork gables omitted and replaced by a full tile hung gable as per RBBC Officer's comments. Floor plans mirrored to suit Proposed Site Plan. Second floor plan corrected to show roof adjacent to stair. General minor amendments.	30.05.17	LS

**External Material Specification**

External Walls:	Wienerberger Hathaway Brindled Red Multi Stock brickwork or similar with natural colour mortar
Roofs:	Keymer Goxhill Dark Red Clay roof tiles or similar
Windows:	Keymer Shire Priory Clay roof tiles or similar
Entrance Doors:	uPVC windows (colour: White RAL 9003) with high performance double glazing
Fascias/Soffits:	GRP composite doorset from IG Door Fibrecolour range with double glazed side screens (colour: Light or Medium Oak or painted) or similar
Rainwater goods:	White uPVC
Balconies:	Round section uPVC gutters and downpipes (colour: Black)
	Polyester Powder Coated Mild Steel (colour: Black)

**Flat Type Q**

**Dwelling Type (bedroom / persons)**  
1 Bed 2 Person  
**Gross Internal Area (GIA)**  
50.0 sq.m  
**Applicable Plots**  
D36, D39, D40, D43 & D44

**Flat Type R1**

**Dwelling Type (bedroom / persons)**  
2 Bed 4 Person  
**Gross Internal Area (GIA)**  
73.2 sq.m  
**Applicable Plots**  
D35, D37, D41 & D45

**Flat Type R3**

**Dwelling Type (bedroom / persons)**  
2 Bed 4 Person  
**Gross Internal Area (GIA)**  
73.2 sq.m  
**Applicable Plots**  
D38 & D42

**Planning Issue**

<b>Stanford   Eatwell</b> Architecture Planning & Design	
Download Plan   Browse Stanford   Home   Contact Us T: 01279 871413 F: 01279 871417 E: enquiries@stanfordeatwell.co.uk	
project	Former De Burgh School Site, Tadworth, Surrey, KT20 5LH London Square
title	Flat Block D Proposed Floor Plans & Elevations
scale	1:100 @ A0
date	April 2016
drawn by	LS
checked by	OK
approved by	BJS
drawing no.	1457-P-660
revision	P5



**Notes**

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rev.	date.	dm.
P1	15.12.16	LS
P2	31.03.17	LS

Plot A9 added to Applicable Plots.  
 Plots A5, A6 & A11 omitted from Applicable Plots.  
 Elevations amended in response to RBBC Officer's comments post submission.

**External Material Specification**

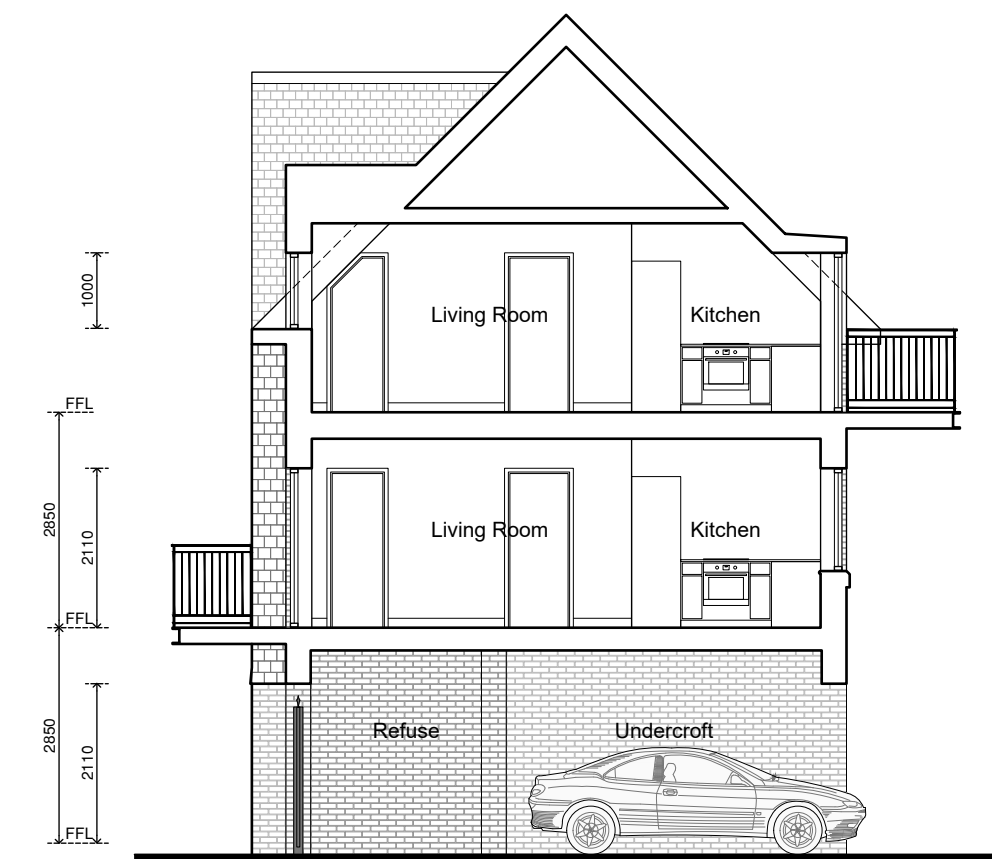
- External Walls:** Wienerberger Hathaway Brindled Red Multi Stock brickwork with natural colour mortar or Wienerberger Loxley Red Multi Stock brickwork with natural colour mortar or similar  
 Keymer Goxhill Dark Red Clay roof tiles or similar
- Roofs:** Keymer Shire Priory Clay roof tiles or Keymer Shire Downs Red Clay roof tiles or similar
- Windows:** uPVC windows (colour: White RAL 9003) with high performance double glazing
- Entrance Doors:** GRP composite doorset from IG Door Fibrecolour range with double glazed side screens (colour: Light or Medium Oak or painted) or similar
- Dormers:** GRP (colour: Grey)
- Fascias/Soffits:** White uPVC
- Rainwater goods:** Round section uPVC gutters and downpipes (colour: Black)
- Balconies:** Polyester Powder Coated Mild Steel (colour: Black)



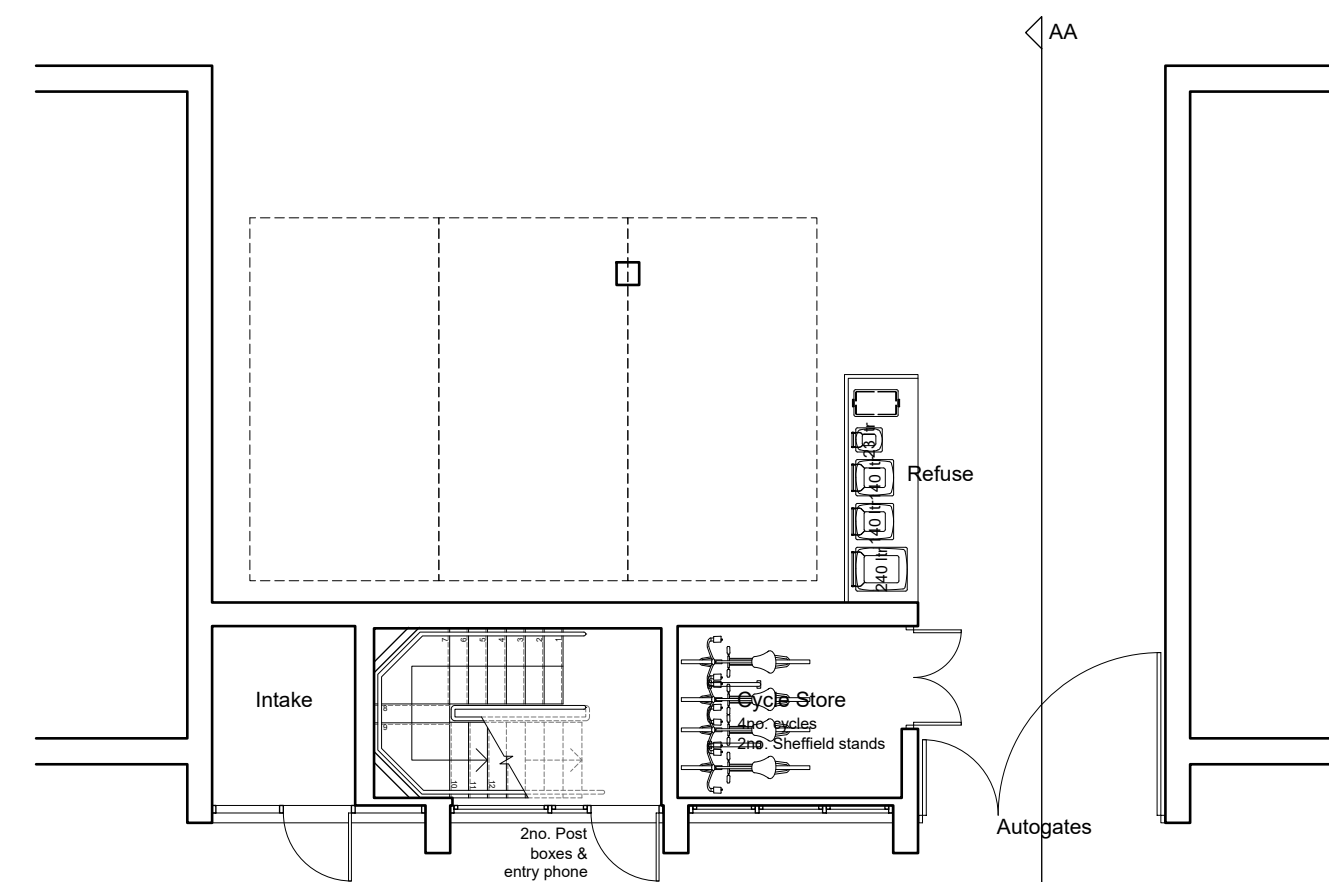
Front Elevation



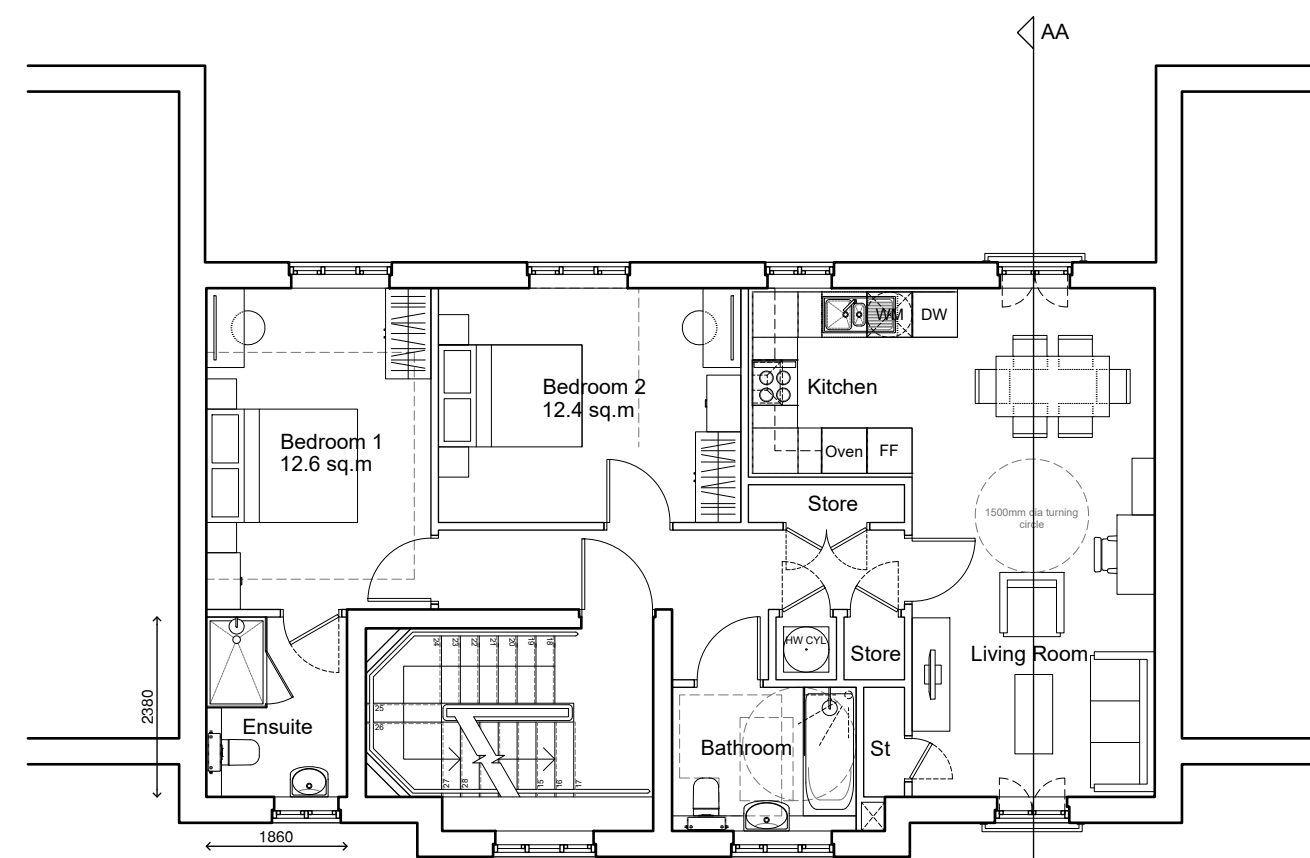
Rear Elevation



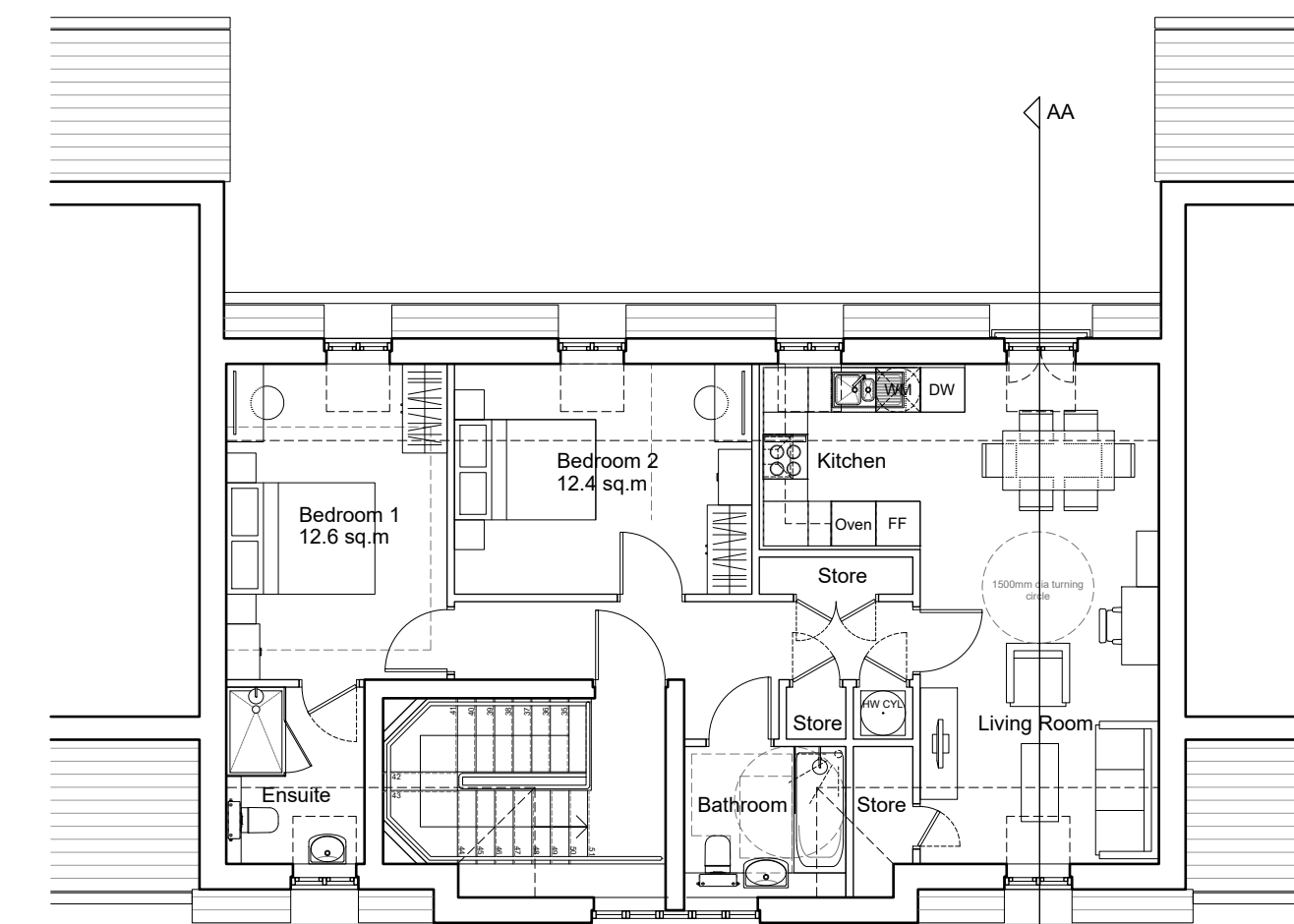
Section AA



Ground Floor Plan



First Floor Plan



Second Floor Plan

**Flat Type S (First Floor)**

- Dwelling Type (bedroom / persons)**  
2 Bed 4 Person
- Gross Internal Area (GIA)**  
75.0 sq.m
- Applicable Plots**  
Area A - A9 & A15  
Area B - B31  
Area G - G4 & G16

**Flat Type T (Second Floor)**

- Dwelling Type (bedroom / persons)**  
2 Bed 4 Person
- Gross Internal Area (GIA)**  
74.5 sq.m
- Applicable Plots**  
Area A - A10 & A16  
Area B - B32  
Area G - G5 & G17

**Planning Issue**

**Stanford | Eatwell**  
**Architecture**  
 Chartered Architects

Threnhall Park | Bishops Cleeve | Herts | CM22 7WE  
 T 01279 874413  
 F 01279 874417  
 E [info@stanfordeatwell.co.uk](mailto:info@stanfordeatwell.co.uk)

project Former De Burgh School Site, Tadworth, Surrey, KT20 5LH  
 London Square

title Flat Block B Proposed Floor Plans & Elevations

scale 1:100 @ A1 dm LS  
 date March 2016 chk BJS

dm no. 1457-P-665 rev P2



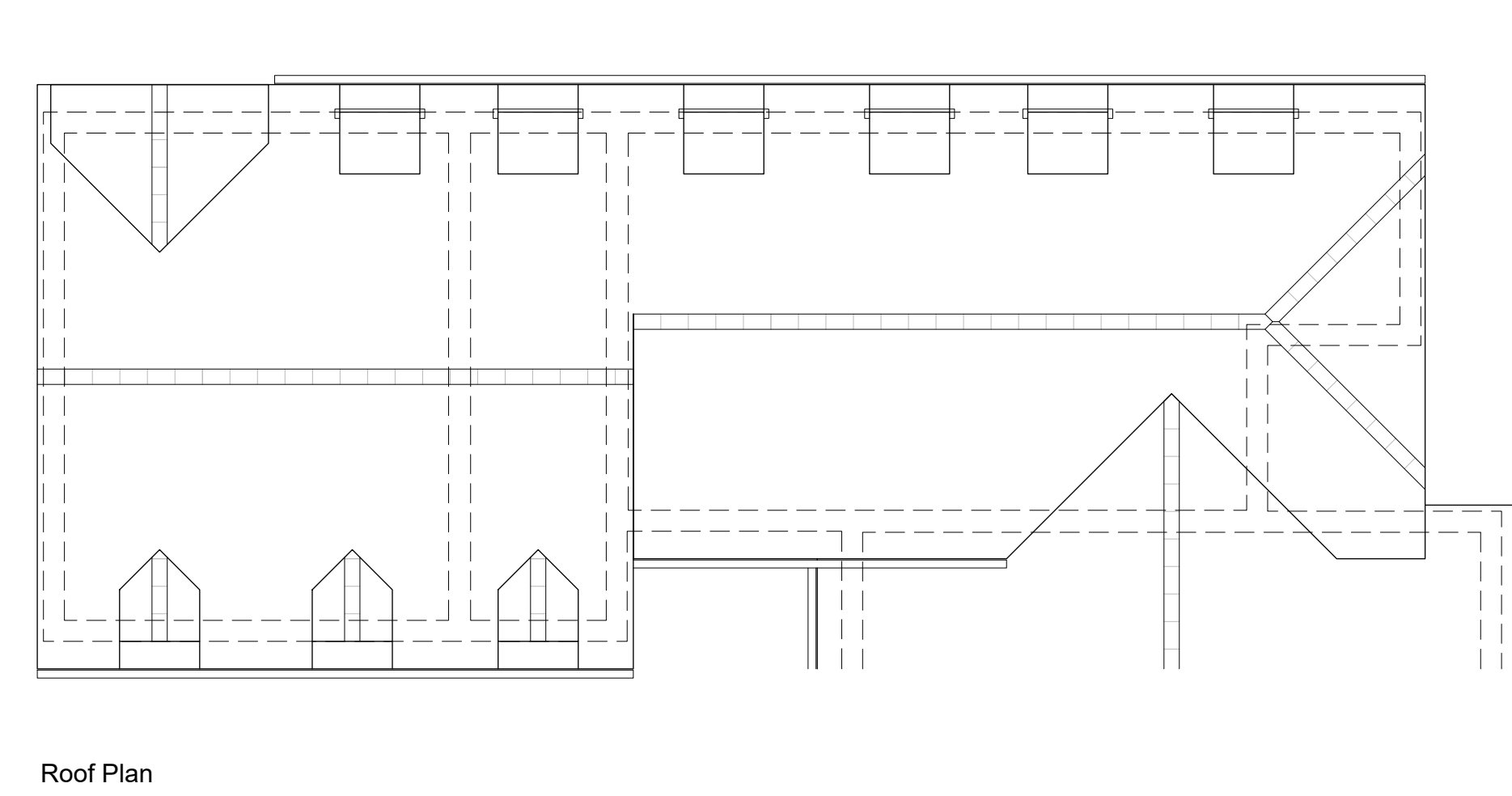
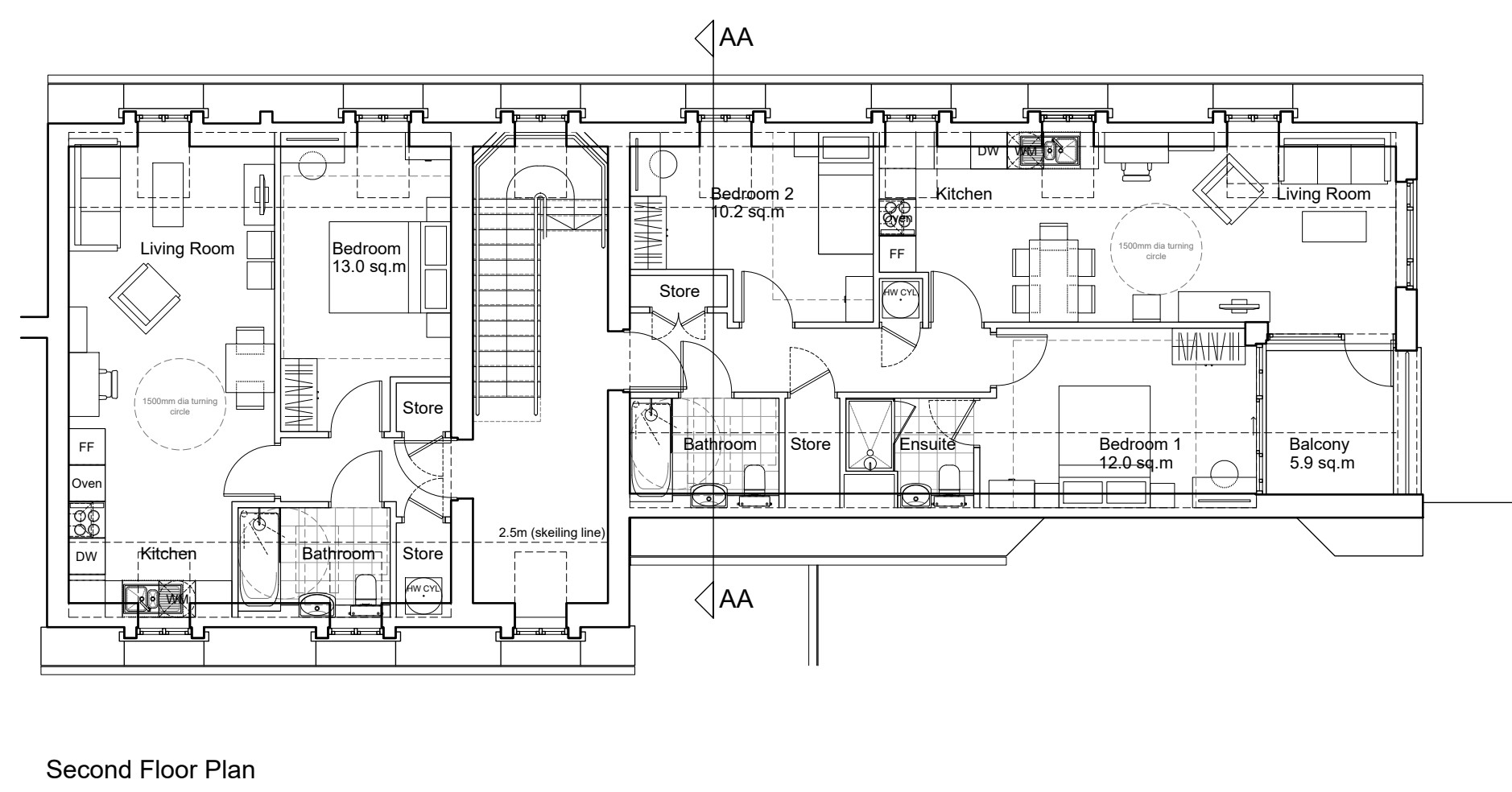
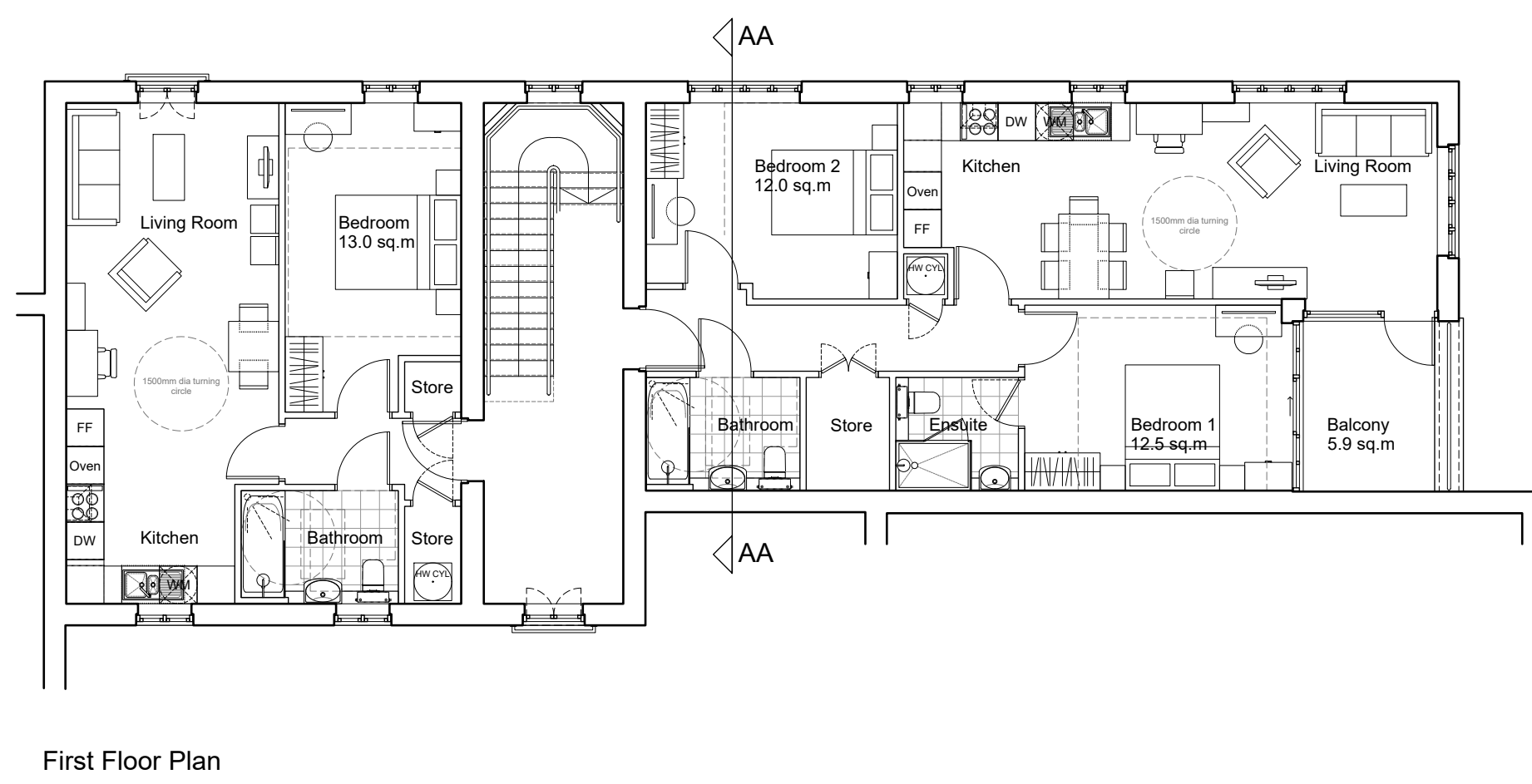
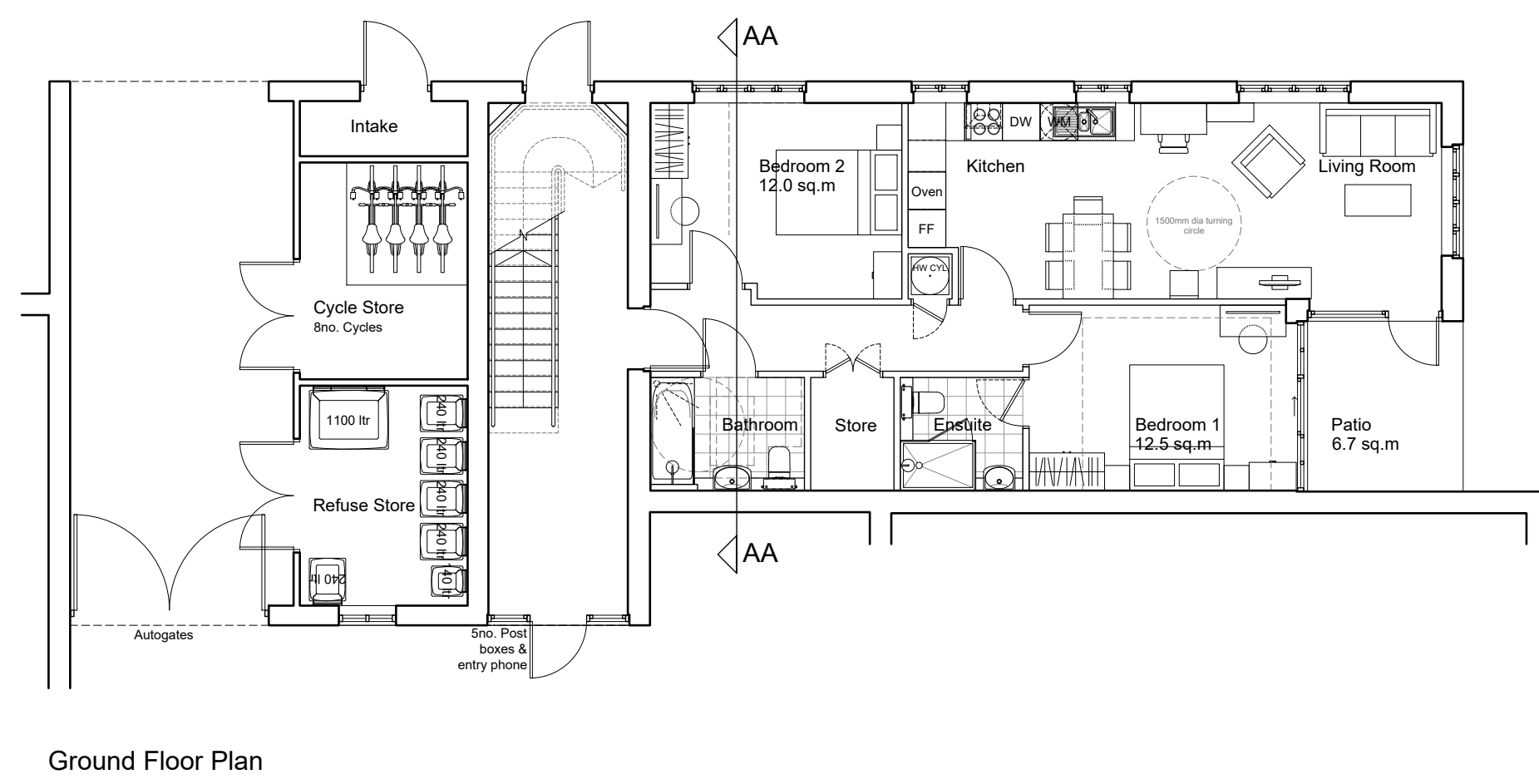
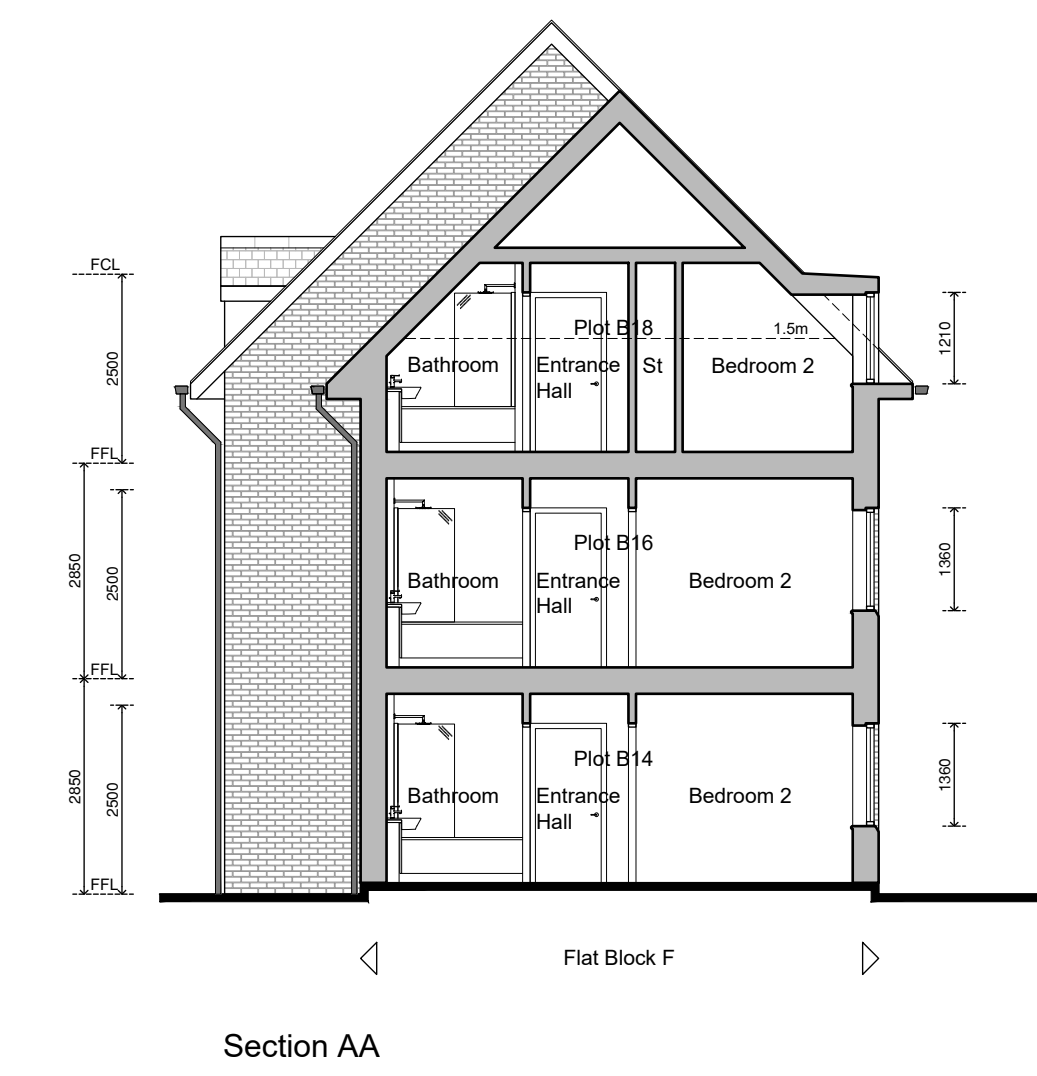
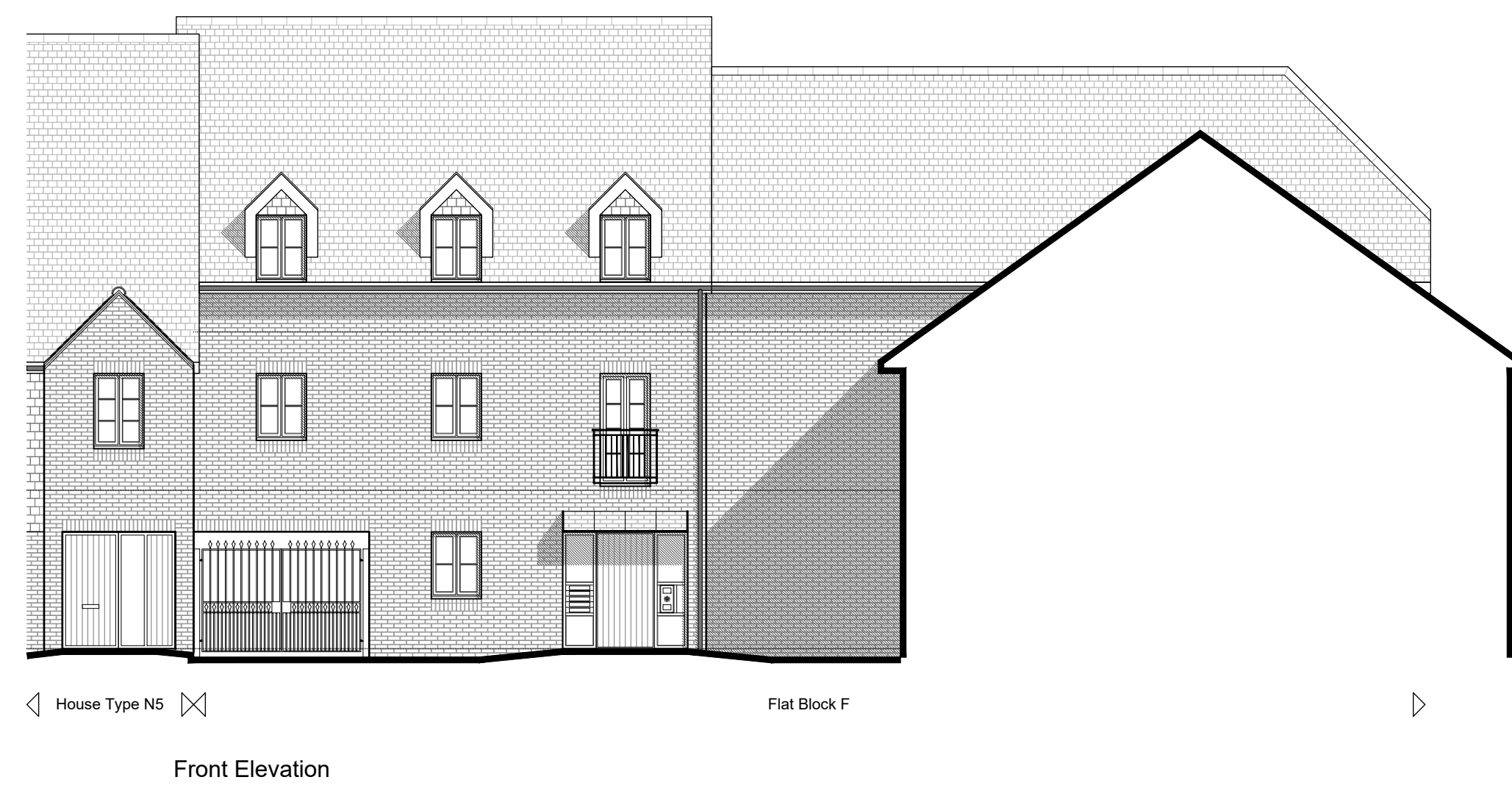
**Notes**

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no.	desc.	date	by
P1	Planning Issue.	15.12.16	LS
P2	Elevations amended in response to RBBC Officer's comments post submission. Balconies omitted from Plots B15 & B17.	31.03.17	LS

**External Material Specification**

<b>External Walls:</b>	Wienerberger Hathaway Brindled Red Multi Stock brickwork with natural colour mortar or Wienerberger Loxley Red Multi Stock brickwork with natural colour mortar or similar
<b>Roofs:</b>	Keymer Shire Priory Clay roof tiles or Keymer Shire Downs Red Clay roof tiles or similar
<b>Windows:</b>	uPVC windows (colour: White RAL 9003) with high performance double glazing
<b>Entrance Doors:</b>	GRP composite doorset from IG Door Fibrecolour range with double glazed side screens (colour: Light or Medium Oak or painted) or similar
<b>Dormers:</b>	GRP (colour: Grey)
<b>Fascias/Soffits:</b>	White uPVC
<b>Rainwater goods:</b>	Round section uPVC gutters and downpipes (colour: Black)
<b>Balconies:</b>	Polyester Powder Coated Mild Steel (colour: Black)



**Flat Type U (First Floor)**

Dwelling Type (bedroom / persons)  
 1 Bed 2 Person  
**Gross Internal Area (GIA)**  
 50.0 sq.m  
**Applicable Plots**  
 B15

**Flat Type V (First Floor)**

Dwelling Type (bedroom / persons)  
 2 Bed 4 Person  
**Gross Internal Area (GIA)**  
 71.6 sq.m  
**Applicable Plots**  
 B14 & B16

**Flat Type U1 (Second Floor)**

Dwelling Type (bedroom / persons)  
 1 Bed 2 Person  
**Gross Internal Area (GIA)**  
 47.9 sq.m  
**Applicable Plots**  
 B17

**Flat Type V1 (Second Floor)**

Dwelling Type (bedroom / persons)  
 2 Bed 3 Person  
**Gross Internal Area (GIA)**  
 66.8 sq.m  
**Applicable Plots**  
 B18

**Planning Issue**

**Stanford | Eatwell**  
**Architecture**  
 Residential Architecture

Thorndon Park | Bishops Cleeve | Lincs | LE67 7WE  
 T: 01279 821433  
 F: 01279 821417  
 E: enquiries@stanfordeatwell.co.uk

project: Former De Burgh School Site, Tadworth, Surrey, KT20 5LH  
 London Square

title: Flat Block F Proposed Floor Plans & Elevations

scale: 1:100 @ A0  
 date: September 2016  
 dsg no.: 1457-P-670

author: LS  
 checker: BJS  
 revision: P2





CGI 1 - View looking East through the 'Green Spine' from Marbles Pond





CGI 2 - View looking North-East from Chetwode Road





CGI 3 - View looking South into Area A





CGI 4 - View looking South-East into Open Space in Area B





CGI 5 - View looking North at Flat Block B and the Local Area of Play in Area D